

# Land Acquisition and Involuntary Resettlement Due Diligence Report

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## Bhutan: Inclusive and Resilient Urban Development Project

– Ammochhu Local Area Plan site,  
Phuentsholing

## CURRENCY EQUIVALENTS

(as of 18 February 2026)

Currency unit	–	Bhutanese Ngultrum (Nu.)
Nu.1.00	=	\$ 0.011
\$1.00	=	Nu.90.54

## ABBREVIATIONS

ADB	Asian Development Bank
DDR	Due Diligence Report
DMS	Detailed Measurement Survey
EHS	Environment, Health and Safety
FGD	Focus Group Discussion
GESI	Gender Equality and Social Inclusion
GNHC	Gross National Happiness Commission
GRM	Grievance Redress Mechanism
HDPE	High-Density Polyethylene
IA	Implementing Agency
IRUDP	Inclusive & Resilient Urban Development Project
LAP	Local Area Plan
LPCD	Liters per Capita per Day
MLD	Million Liters per Day
MOF	Ministry of Finance
MOIT	Ministry of Infrastructure and Transport
MOWHS	Ministry of Works and Human Settlement
NCWC	National Commission for Women and Children
NHDCL	National Housing Development Corporation Limited
NLC	National Land Commission
NP3	Non-Pressure Pipe Class 3
PCR	Phuentsholing Chamkuna Road
PIU	Project Implementation Unit
PMU	Project Management Unit
PSC	Project Steering Committee
PSP	Phuentsholing Structure Plan
PTDP	Phuentsholing Township Development Project
PUDP	Phuentsholing Urban Development Plan
RCC	Reinforced Cement Concrete
RRM	Random Rubble Masonry
RMU	Ring Main Unit
ROW	Right-of-Way
SPS	Safeguard Policy Statement (ADB, 2009)
USS	Unitized Substation

### **Dzongkha Glossary**

<i>Demkhongs</i>	Electoral Constituency
<i>Dzongkhag</i>	District
<i>Dzongdag</i>	District Administrator
<i>Dzongrab</i>	Deputy District Administrator
<i>Dungkhag</i>	Administrative Unit (Sub-district)
<i>Gewog</i>	Administrative Block
<i>Gup</i>	Head of Gewog
<i>Thromde</i>	Local Government/ Municipality
<i>Tshokpas</i>	Village headmen
<i>Tshogpa</i>	Community Representative
<i>Thuemi</i>	Representative of the local community

### **WEIGHTS AND MEASURES**

Km	-	Kilometer
M	-	Meter
km <sup>2</sup>	-	square kilometer
m <sup>2</sup>	-	square meter

### **NOTE**

In this report, "\$" refers to United States dollars.

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## I. INTRODUCTION

### A. Background

1. The project forms part of a broader, sequenced series of ADB-supported investments in Phuentsholing that collectively advance Bhutan's vision for resilient and inclusive urbanization. Rather than a one-off infrastructure project, the project sits at the center of a continuum that links urban infrastructure, low-income housing development and finance, policy and regulatory reforms, and climate-adaptive and inclusive urban planning. It complements Phuentsholing Township Development Project, Green and Resilient Affordable Housing Sector Project, and Climate-Resilient Omchhu River Basin Projects, creating an integrated framework that combines serviced-land development, affordable housing delivery, and institutional strengthening. ADB's unique contribution lies in introducing risk-informed, climate resilient design and coordinated governance mechanisms that connect spatial planning, housing, and municipal systems. Innovation and knowledge value addition include (i) applying flood- and sediment-resilient infrastructure standards to manage peak runoff, debris loads, and erosion risks, (ii) adopting nature based and resource efficient housing and site design, and (iii) institutionalizing asset management, maintenance, and financial sustainability mechanisms. The project will collaborate with ADB's regional TA for Building Adaptation and Resilience in the Hindu Kush Himalayas – Bhutan and Nepal on geophysical related aspects and will leverage benefits from its national scope.<sup>1</sup>

2. **Need for Urban Development.** Phuentsholing, located on Bhutan's southwestern part and adjacent to the Ammochhu River, is the country's economic capital and primary trading hub. The government aims to transform Phuentsholing into an economically vibrant, ecologically sustainable, and energy-efficient center, fostering economic diversification, employment, and income generation.

3. The Ammochhu area which is supposedly the most economically active zones of Phuentsholing Thromde, lacks several essential urban services and climate-resilient infrastructure systems. Rapid urban expansion, unplanned extensions of residential and commercial establishments, and repeated natural hazard events—especially flooding and landslides—have highlighted critical infrastructure gaps that must be addressed to ensure safety, resilience, and sustainable urban development.<sup>2</sup> The city faces critical challenges. A growing population and limited physical area have created an acute shortage of land for development and expansion. Furthermore, the western edge of the existing city is vulnerable to the uncontrolled flow of the Ammochhu River. This flow has caused significant erosion, sedimentation, and land loss, threatened sustainability and restricted the growth potential of the city's economy.

4. **ADB's intervention in the sector.** The project aligns with ADB's Country Partnership Strategy for Bhutan, 2024-2028, which prioritizes climate adaptive infrastructure, affordable housing, and strengthened urban governance to promote balanced regional development.<sup>3</sup> It

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<sup>1</sup> ADB. 2023. [Technical Assistance for Building Adaptation and Resilience in the Hindu Kush Himalayas—Bhutan and Nepal](#) (TA 10172-REG). The TA will support the dissemination of the guidelines for investigating, designing mitigation measures, and monitoring landslide risk—prepared under the project—to other thromdes and dzongkhags across Bhutan. Dissemination will build resilience of the wider system by increasing the probability of successfully replicating landslide risk mitigation measures in other areas with similar characteristics administered by Phuentsholing Thromde and Dungkhag Administration, and elsewhere in Bhutan.

<sup>2</sup> Ministry of Works and Human Settlement. 2016. National Report, The 3rd UN Conference on Housing and Sustainable Urban Development. Thimphu.

<sup>3</sup> ADB. 2024. [Country Partnership Strategy](#): Bhutan, 2024–2028.

supports Strategy 2030 and its midterm review by scaling up climate action and making cities more livable through integrated urban planning, inclusive housing, and sustainable financing.<sup>4</sup> In line with ADB's *Reference Guide on Aligning Operations with Strategic Focus Area and Development Results (2025)*, the project's primary strategic focus area is Climate Action, with additional contributions to Resilience and Empowerment.

## B. About the Project

5. The project is designed to foster safe, sustainable, and livable human settlements. The project outputs are as follows:

6. **Output 1. Inclusive and resilient urban infrastructure in Ammochhu Local Area Plan improved.** Essential municipal infrastructure and services in Ammochhu Local Area Plan (LAP) will be newly constructed and upgraded to enhance Phuentsholing's livability, service delivery, and climate resilience. The output will be implemented by Phuentsholing Thromde and delivered through integrated infrastructure investments covering at least 75% of the Ammochhu LAP area, including earth filling, outfalls, stormwater drainage, water supply and sewer systems, road and footpath networks with street lighting, service utility ducts, solid waste management, and climate-resilient embankment protection structures such as culverts and retaining walls connected to the outfalls. The updated infrastructure will reduce service deficits and strengthen municipal systems against floods, riverbank erosion, and landslides, and will be designed to meet national standards for climate and disaster resilience, safety, inclusion and reliability. Infrastructure design will incorporate socially inclusive and gender-responsive features, including safe pedestrian routes, adequate lighting, and universal accessibility, to ensure equitable access for women and vulnerable groups. To promote women's participation in the construction and urban development sector where they are underrepresented, the project will support targeted on-the-job training for women during the construction phase to build relevant technical skills and enhance their employability. Consistent with the Phuentsholing Structure Plan and the Ammochhu LAP's long-term development framework, the improved infrastructure will support a planned service population of approximately, 20,000 residents within the Ammochhu LAP and support Phuentsholing's long-term population horizon of about 80,000 by 2037.<sup>5 6</sup>

7. **Output 2: Adequate, affordable and resilient housing units constructed and allotted for low-income households.** Affordable and climate-resilient housing units will be constructed to improve access to safe and adequate housing for low-income and vulnerable households in Thimphu and Phuentsholing. The output will be implemented by National Housing Development Corporation Limited and delivered through the construction of new rental and affordable housing units, incorporating energy-efficient, disaster-resilient, and inclusive design features that meet national building codes and accessibility standards. These investments will expand the supply of adequate housing and reduce overcrowding and informal tenancy among low-income and vulnerable groups. Housing allocation will prioritize vulnerable households, including women-headed households, persons with disabilities, and other groups facing rental market insecurity, based on transparent eligibility criteria. The output assumes continued government support for housing maintenance, tenant management systems, and fair and transparent allocation processes. The housing component will be financed through a \$3 million grant from the Japan Fund for Prosperous and Resilient Asia and the Pacific (JFPR).

<sup>4</sup> ADB. 2018. [Strategy 2030: Achieving a Prosperous, Inclusive, Resilient, and Sustainable Asia and the Pacific](#); and ADB. 2024. [Strategy 2030 Midterm Review: An Evolution Approach for the Asian Development Bank](#).

<sup>5</sup> As of February 2026, current population in Ammochhu Local Area Plan is approximately 1,500.

<sup>6</sup> Phuentsholing Thromde. 2013. [Phuentsholing Structure Plan 2013-2018 \(vol.01\)](#).

8. **Output 3: Urban policies and planning, regulatory frameworks, and governance mechanisms strengthened.** Targeted technical assistance (TA) will strengthen urban policies, regulatory frameworks, and governance mechanisms of Phuentsholing Thromde, Dungkag Administration, National Housing Development Corporation Limited, and other relevant agencies. Activities will include structured capacity development on integrated spatial planning and urban design, development control regulations, land management strategies, and financial management supported by strengthened governance framework. Poverty and social analysis and gender equality and social inclusion (GESI)-related evidence, including sex-, age-, disability-, and income-disaggregated data, will be systemically used as key inputs, alongside other technical, economic, environmental, and climate-resilience consideration to strengthen inclusive and climate-resilient urban development. The output will enhance institutional capacity, improve coordination, and mainstream poverty and GESI considerations in urban planning and decision-making, contributing to more responsive, equitable and resilient municipal services.

9. Lessons from Phuentsholing Township Development Project inform the project's design for outputs 1 and 3, addressing constraints in serviced-land readiness, integrated infrastructure delivery, and institutional coordination through strengthened urban planning and governance frameworks. Complementary experience from the Climate-Resilient Omchhu River Basin Project informs the integration of flood- and landslide-resilient engineering measures in infrastructure design. For output 2, lessons from Green and Resilient Affordable Housing Sector Project guide the provision of climate-resilient, inclusive, and resource-efficient housing solutions, demonstrating practical approaches to improving housing quality and accessibility for vulnerable population groups.

### **C. Scope and Objective of the Due Diligence Report**

10. This draft land acquisition and resettlement due diligence report is prepared for the proposed Ammochu LAP River Basin Project under Inclusive and Resilient Urban Development Project (IRUDP). The main objective of due diligence exercise is to confirm that the project is free of involuntary resettlement impact such as land acquisition, physical displacement, economic displacement, adverse impact on livelihood, community properties or any other impacts, based on a review of documents, stakeholder consultations and field visits to proposed project locations. This document describes the findings and provides copies of relevant documents, consultation details and photographs.

11. Due diligence process was conducted to examine the land acquisition and involuntary resettlement issues, based on Detailed Project Report (DPR) and design, in alignment with ADB SPS, 2009. This report describes the findings and provides copies of relevant documents, community consultations and photographs. During detailed measurement survey, involuntary resettlement related impacts will be further assessed and if required, a resettlement plan will be prepared and shared with ADB for approval. The final document will be reviewed and disclosed on Implementing Agency's (IA) and ADB's websites. No civil works contract package should be awarded or works started, prior to completion of final safeguard document (DDR or Resettlement Plan implementation) for the said package, and until ADB's no objection is obtained. The implementing agency is responsible to hand over the project land/site to the contractor free of encumbrance.

## **II. SUBPROJECT DESCRIPTION**

### **A. Project Rationale**

12. Building on Phuentsholing Township Development Project, the South Asia Subregional

Economic Cooperation Road Connectivity Project, the Climate-Resilient Omchhu River Basin Project, and the Green and Resilient Affordable Housing Sector Project<sup>7</sup>, the proposed project targets the inclusive and resilient urban infrastructure at Ammochhu Local Area Plan<sup>8</sup> in the Phuentsholing and the adequate and affordable housing project across the cities in Bhutan. It aims to (i) construct urban infrastructure (e.g., water and drainage, utility and service, road and pedestrian, protective structures), to respond to urban growth pressures, (ii) build and retrofit affordable housing units to address the shortage of quality home for low-income group, and (iii) strengthen institutional capacity of (a) urban policies, (b) regulatory frameworks, and (c) governance mechanisms for Phuentsholing *Thromde*, Phuentsholing *Dungkhag* (i.e., subdistrict) Administration, National Housing Development Corporation Limited, Ministry of Infrastructure and Transport, and/or Department of Tourism. The project will catalyze for the inclusive and resilient urban development including affordable housing and will benefit about 20,000 people and ultimately enable sustainable urban development.

## B. Project Location and Area

13. Covering an area of 38,394sq.km<sup>9</sup> sq.km, Bhutan comprises 20 districts. Phuentsholing, also known as Phuentsholing *Thromde*, is a town situated in the Chhukha District in the south-western part of the country (refer to Figure 1). The town's built-up area extends contiguously to the West, reaching the border with Samtse.

**Figure 1: Map of Bhutan indicating Project Location**



Source: Ministry of Foreign Affairs. <https://www.mfa.gov.bt/bhutan-at-glance/>

14. The Phuentsholing *Thromde* is a municipality / urban local government (*Thromde*), under Chukha *Dzongkhag*. Phuentsholing *Thromde* is located on the southwestern border of the country. It is the western point of entry by road and the primary gateway from India to Bhutan and because of this, it has easy access to cheap labor and raw material. It is the western commercial and economic capital as well as an industrial hub due to the Pasakha Industrial Estate where

<sup>7</sup> Asian Development Bank (ADB). [Bhutan: Phuentsholing Township Development Project](#); ADB. [Bhutan: South Asia Subregional Economic Cooperation Road Connectivity Project](#); ADB. [Bhutan: Climate-Resilient Omchhu River Basin Project](#); and ADB. [BHU: Green and Resilient Affordable Housing Sector Project](#).

<sup>8</sup> Ammochhu Local Area Plan is an official planning unit (i.e., geographical area) that is legally defined and approved by the Phuentsholing *Thromde* (municipal government), in accordance with Bhutan's urban planning and land use regulations.

<sup>9</sup> NSB, 2025. Bhutan at a Glance 2025.

much of the production and manufacturing industries are located.

15. Phuentsholing *Thromde* extends from Toorsatar LAP to Pasakha along the southwestern foothills. It comprises six constituencies (*Demkhongs*), each represented by an elected people's representative (*Tshogpa*). Phuentsholing was established as a Class A *Thromde* by the Parliament in 2010 with an area of 15.6 square kilometer (sq.km)<sup>10</sup>. Since then, the planning and design of the *Thromde* has been based on the Phuentsholing Urban Development Plan (PUDP) 2002-2017 and the Phuentsholing Structure Plan (PSP) 2013-2028.<sup>11</sup> Under the latter (PSP), the *Thromde* area was defined by precincts and 12 Local Area Plans (LAPs), which includes the project site- the Ammochhu LAP.

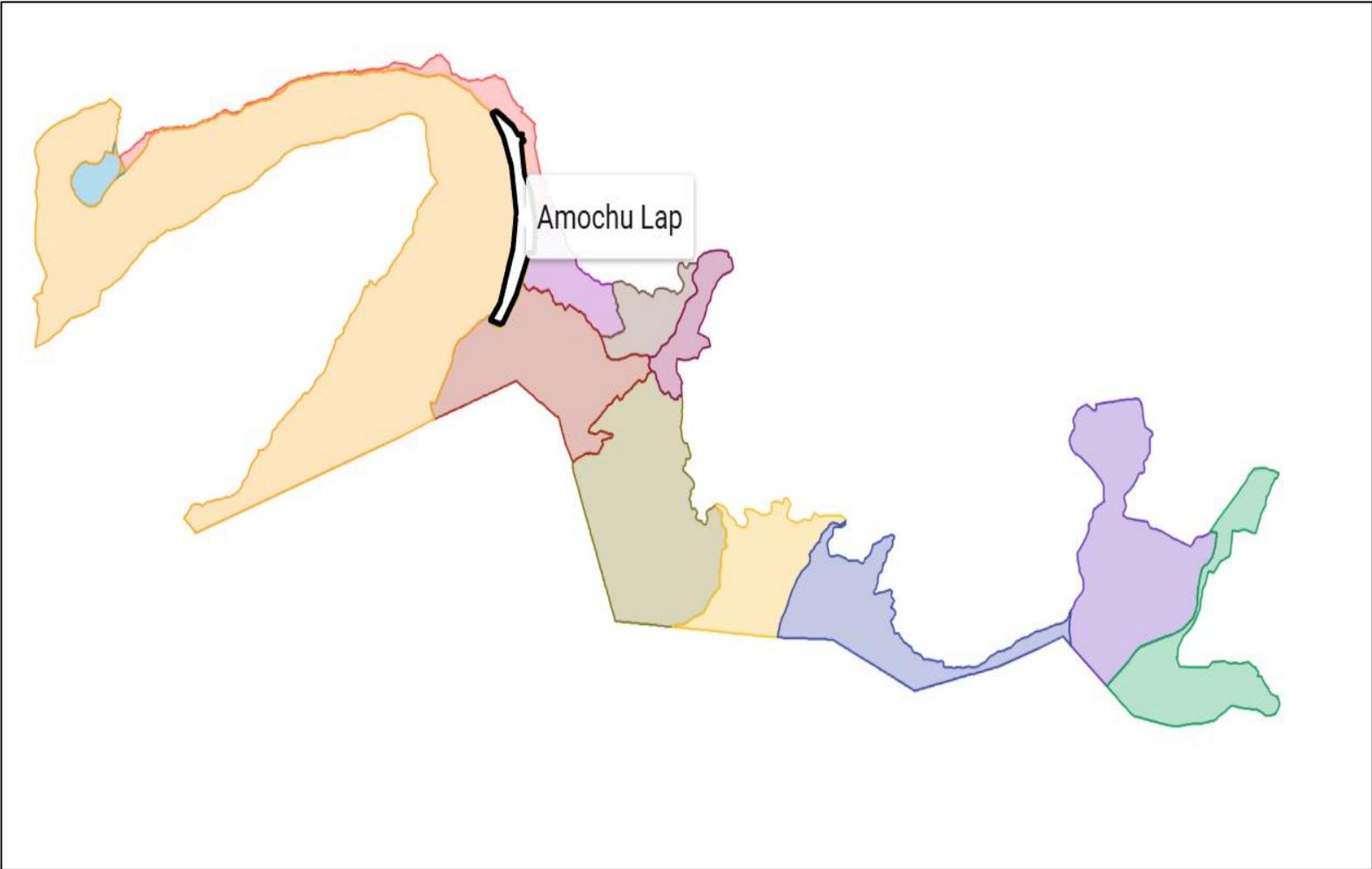
16. The Ammochhu LAP is bounded by the Ammochhu river to the west, the Core town to the south and Damdara to the east. The LAP lies in the flood plain of the Ammochhu river. The LAP area starts from the NHDCL housing colony at Bangay in the North to the newly constructed bridge over Omchhu (Omchhu Bridge-II). In the east, the LAP area starts from foothills of the slopes of Dhamdara and borders the Phuentsholing- Samtse Highway on the West, lying adjacent to the Phuentsholing Township Development Project (PTDP), embodying the flat floodplains along the left bank of Ammochhu river. The Phuentsholing-Samtse Highway forms a natural boundary between the Phuntsholing township Development Project (PTDP) and the Ammochhu LAP.

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<sup>10</sup> MOWHS, 2010. Approved Thromdes and Boundaries.

<sup>11</sup> Department of Human Settlement, 2016. Compliance and development review Phuentsholing Throm. MOWHS.

**Figure 2: Geographical Diagram of Phuentsholing Thromde indicating Project Location in Black**



Source: Phuentsholing Thromde

### C. Project Components and Design

17. The project involves the development of the Ammochhu LAP under Phuentsholing *Thromde* covering an area of 99 acres- extending from the NHDCL housing colony of Bangay in the North to the roundabout near the Omchhu bridge-II. The table details the various components of the project, while Figure x shows the layout.

**Table 1: Details of the project components**

Sl. No.	Type of Intervention	Total Cost (Nu.)
1	Stormwater drainage	120,039,184.39
2	Water distribution network	29,510,727.39
3	Sewer system	90,361,599.00
4	Service Utility Duct	139,079,756.58
5	Road Works	180,486,589.33
6	Street Lighting	25,491,542.93
7	Footpath	34,201,542,93
8	Embankment Wall along Outfalls	65,392,469.47
9	Culvert	155,258,427.23
	Total	839.822,283.17

Source: Phuentsholing Thromde

#### I. STORM WATER DRAINAGE.

18. The stormwater drainage system primarily consists of the design of secondary drains along the LAP road network which will channel the storm water to the primary drains i.e., the Outfalls. The storm water outlets from all buildings will be connected to the drains along the roads. The stormwater drainage layout proposed are as explained below:

- Along the Eastern Avenue - On the eastern side of the LAP to intercept the run-off from hill-side of back-side Dhamdara and Chamkuna area
- Along the internal LAP roads- storm water drains proposed under footpaths to accommodate surface runoff and stormwater from the buildings.

19. Wherever it is not practical to discharge run-off into the drains along that particular road, drains have been proposed beneath the off-street footpaths in-between plots to divert into adjacent drains.

20. **Drain types.** Two types of drains are proposed:

- Major Secondary Drain (D) which will collect run-off discharge from both road pavement and adjacent plots or land. The width of D type drain ranges from 400mm to 1100mm and height from 300mm to 850mm.
- Small Roadside Drain (RD) which will collect run-off discharge from a part of road pavement & footpath and run along the road with the Service Utility Duct. The width of RD type drain is 350mm and height is 275mm.

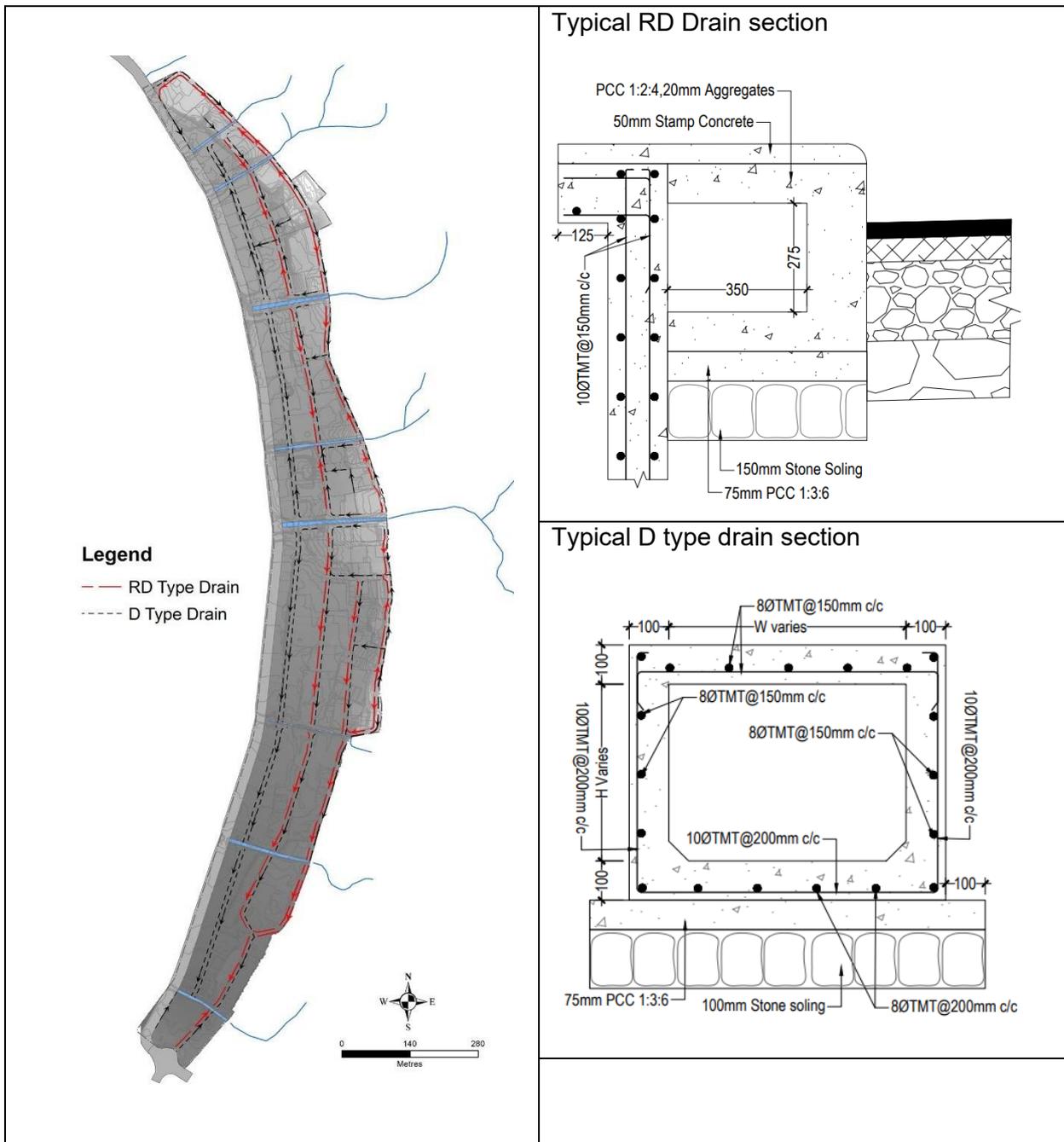
**Table 2: Details of the storm water drains and Hume pipes**

<b>Sl. No.</b>	<b>Description</b>	<b>Purpose</b>	<b>Number</b>	<b>length</b>	<b>Total Length</b>
1	Major Secondary Drain (D)	collect run-off discharge from both road pavement and adjacent plots or land.	62	44-225m	8487.36m
2	Hume Pipes along D	Hume pipes at road crossings	15	6-30m	167m
3	Small Roadside drain (RD)	collect run-off discharge from a part of road pavement & footpath and run along the road with the Service Utility Duct.	30	80-220	4039.04m
4	Hume Pipes along RD	Hume pipes at road crossings	17	6-12m	133 m

Source: Phuentsholing Thromde

21. The proposed stormwater drainage network is shown in Figure 3

**Figure 3: Proposed Storm water drainage network and Drain types**

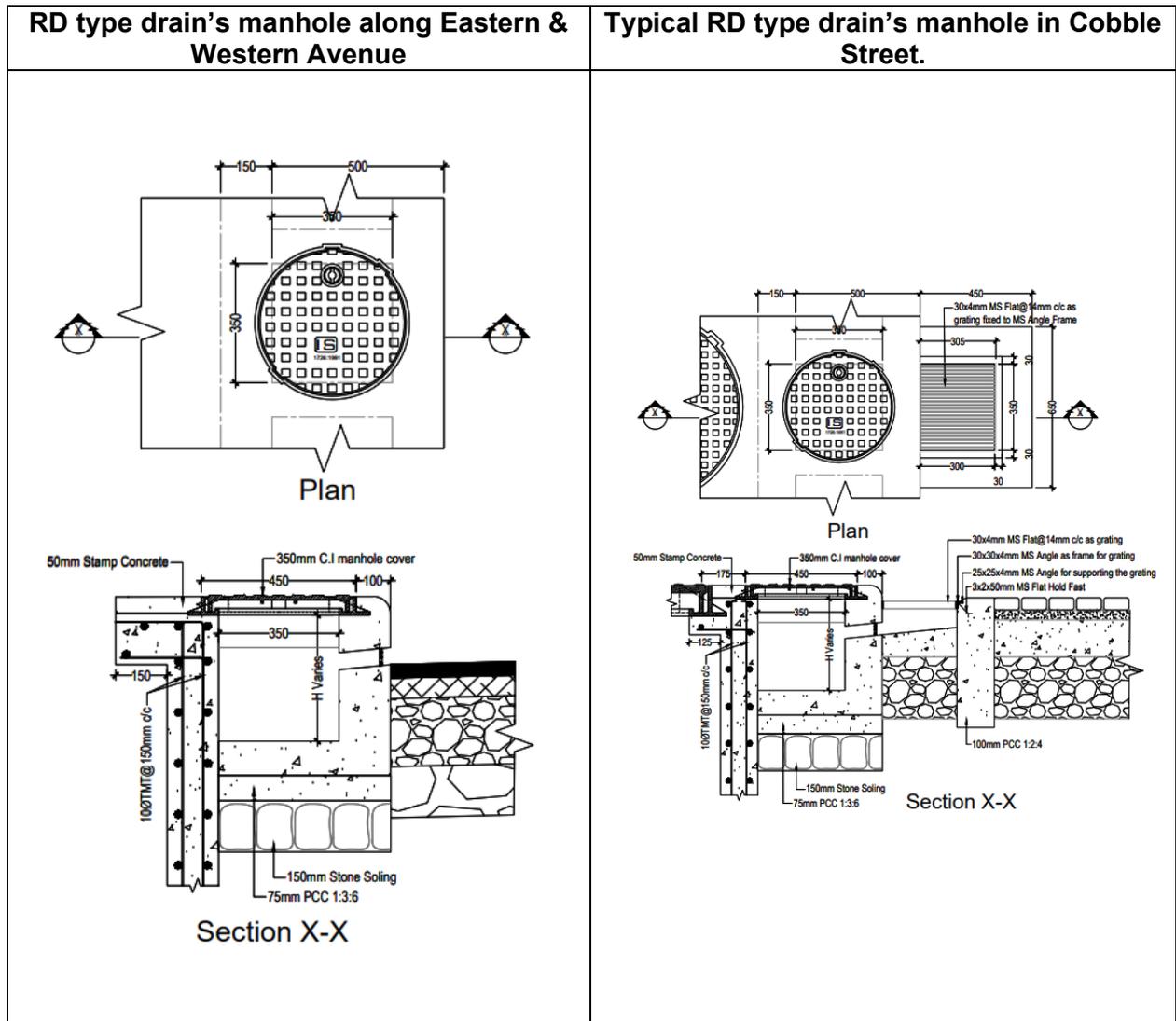


Source: Phuentsholing Thromde

22. **Hume Pipes.** At road crossings, storm water drain shall be replaced with equivalent size Non-Pressure Class 3 (NP3) Hume pipe which can accommodate peak discharge of that particular drain.

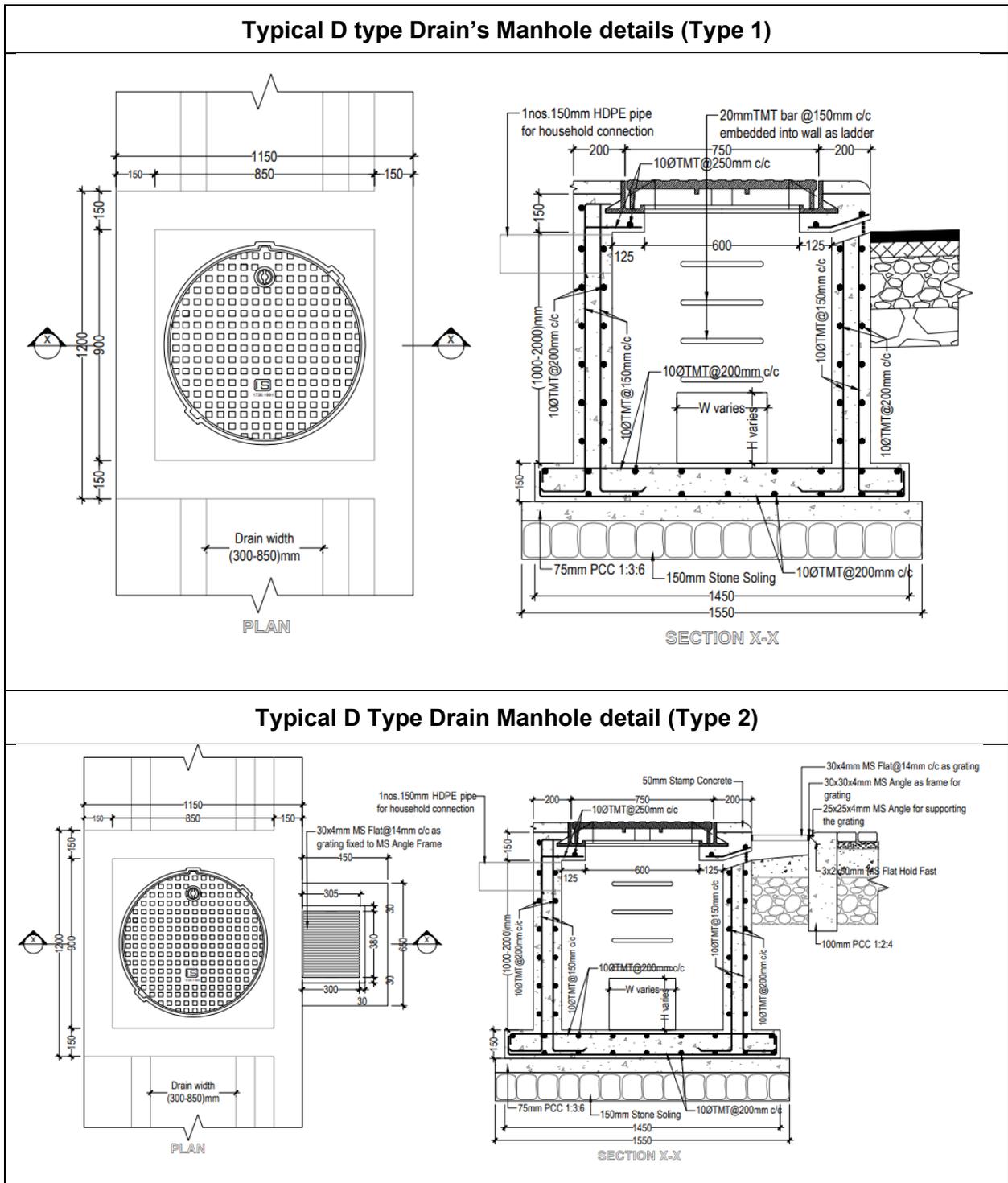
23. **Manholes.** Manholes shall be constructed at every chainage of 5m interval (except for road pavement). This interval has been taken into consideration from inspection and maintenance point of view considering the climatic condition. Each drain type has a different manhole as shown in the figure 4 below.

Figure 4: Typical Manhole section (RD Type Drains)



Source: Phuentsholing Thromde

Figure 5 : Typical Manhole section (D type drain)



Source: Phuentsholing Thromde

24. Household **Drain Connections**. Run-off discharge from the building will drain-off to the nearest Manhole. It will be the responsibility of the plot owner to construct the plinth drain from their plot till the nearest Manhole to drain-off run-off discharge. At every third manhole/every 15m interval, a 160mm HDPE pipe has been kept as provision for household connections.

25. Materials. There are several materials used for the construction of drain. Some of the most common materials used are as follows;

- a. Random Rubble masonry (RRM).
- b. Reinforced Cement Concrete (RCC).
- c. Plain Cement Concrete (PCC).
- d. Pipe system.

26. For the LAP's Stormwater drainage, the Reinforced Cement Concrete material was considered for the drain due to the following reasons;

27. Materials. There are several materials used for the construction of drain. Some of the most common materials used are as follows;

- a. Random Rubble masonry (RRM).
- b. Reinforced Cement Concrete (RCC).
- c. Plain Cement Concrete (PCC).
- d. Pipe system.

28. For the LAP's Stormwater drainage, the Reinforced Cement Concrete material was considered for the drain due to the following reasons;

- i. RCC drains can meet the needs of a variety of loading conditions. It is strong, ever-lasting and causes few issues. The structural strength of RCC drains offers stability over time that may not be found in other drain materials
- ii. The RCC drains are incredibly durable. It won't buckle or wear and are resistant to corrosions.
- iii. Hydraulic performance is determined by the structure's ability to allow safe and regular flow of water. Reinforced Cement Concrete will never lose its original shape unless it's cracked and broken. This allows for improved hydraulic efficiency as the resistance to water's flow is minimal and unchanging

29. Implementation. As almost all the proposed stormwater drains are along roads underneath footpaths, the stormwater drainage package will be implemented together with roads and Service Utility Duct package.

30. **Stormwater management during Operation**. To prevent clogging, drains must be inspected and cleared of debris after every rainfall. Storm water drains must not be used for laying water supply drains. Drain and its manhole structures shall be inspected, and sediment should be cleaned annually or as and when required to maintain adequate functionality of the stormwater conveyance system. All sediments shall be properly handled and disposed of in accordance with environmental guidelines and regulations. Regular checks must be carried out to ensure that drains are operating properly and the issues in the drainage are resolved on time. Depute pre-identified sweepers and caretakers for each area of the LAP.

## II. WATER SUPPLY SYSTEM

31. The water supply system consists of water source, water treatment, reservoir and distribution networks. However, for this project (IRUDP), only the distribution network has been

considered, as the existing reservoirs within the LAP and surrounding areas have sufficient capacity to meet the water demand.

32. **The Water Distribution Network** is designed to meet the capacity of a fully developed LAP, with a carrying capacity of 22,458 residents and a water demand (adopted from the Master Plan) of 200 Lpcd (liters per capita daily) for domestic use. The total required volume for a fully developed LAP is 4.49 MLD. The system aims to provide a minimum residual head of 17m at connection points, which is sufficient to supply water up to the 5th floor of typical residential buildings (G+5 structures). However, due to topographical constraints, a few points achieve between 13m and 17m during peak time, which is still considered adequate

### Distribution system

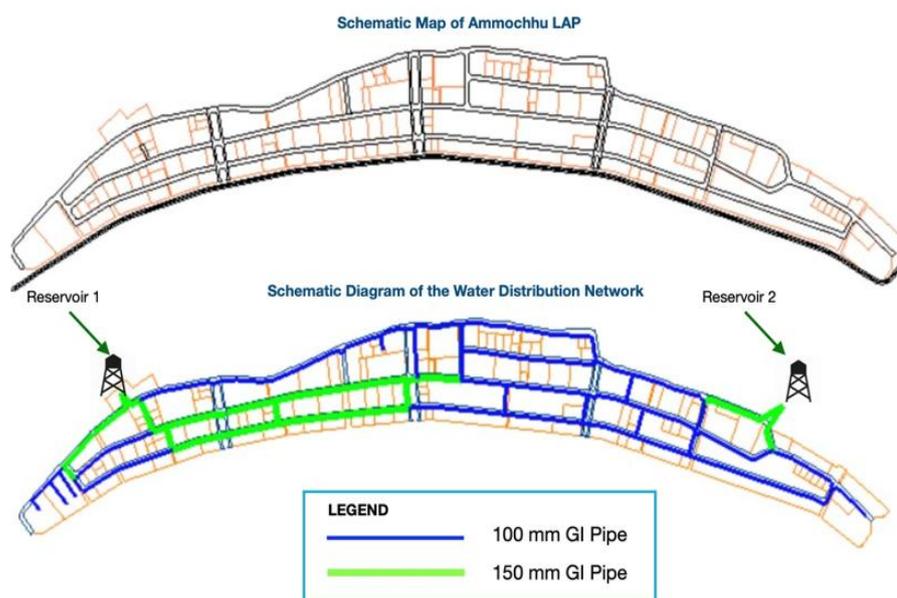
33. **The distribution system** is based on a gridiron distribution network primarily consisting of **100mm and 150mm Galvanized Iron (GI) pipes**. The total length required for 100mm pipes is 3950m and total length required for 150mm pipes is 2170m. The water main will be laid inside the service utility duct and where lateral connection has to cross the road to reach the property, they will be routed through a 50mm HDPE pipe sleeve laid under the road. The work will involve excavation, trenching, refilling and construction of thrust blocks. Sluice valves will be provided for isolation during maintenance, and scour valves are located at the lowest points for cleaning.

**Table 3: Details of the project components**

Sl.No,	Pipe Diameter	Length (m)
1	100 mm	3,950
2	150 mm	2,170

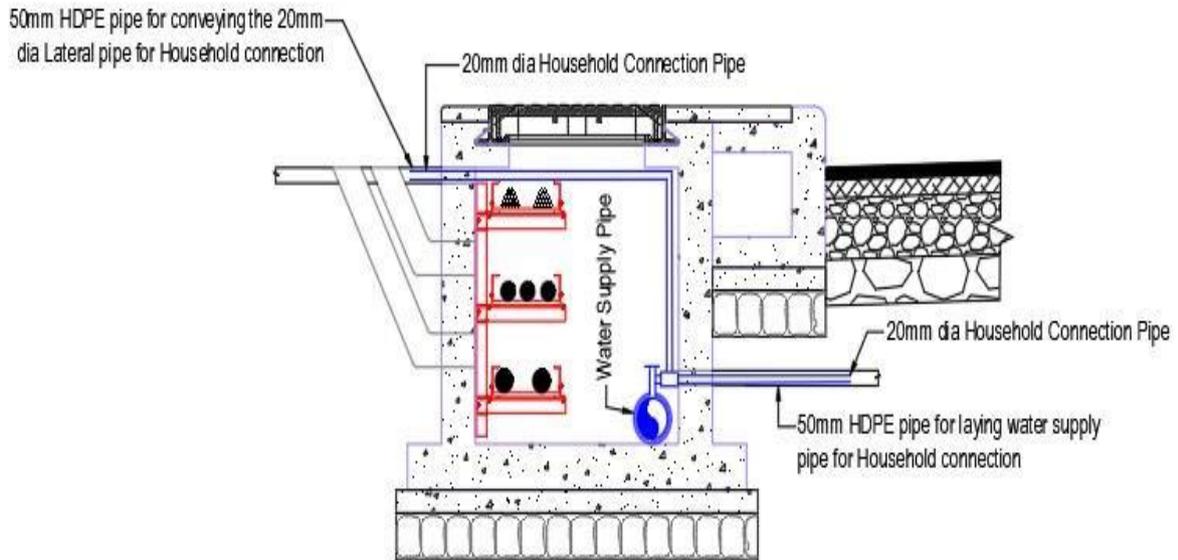
Source: Phuentsholing Thromde

**Figure 6: Schematic Diagram of the Water Distribution Network showing pipe sizes**



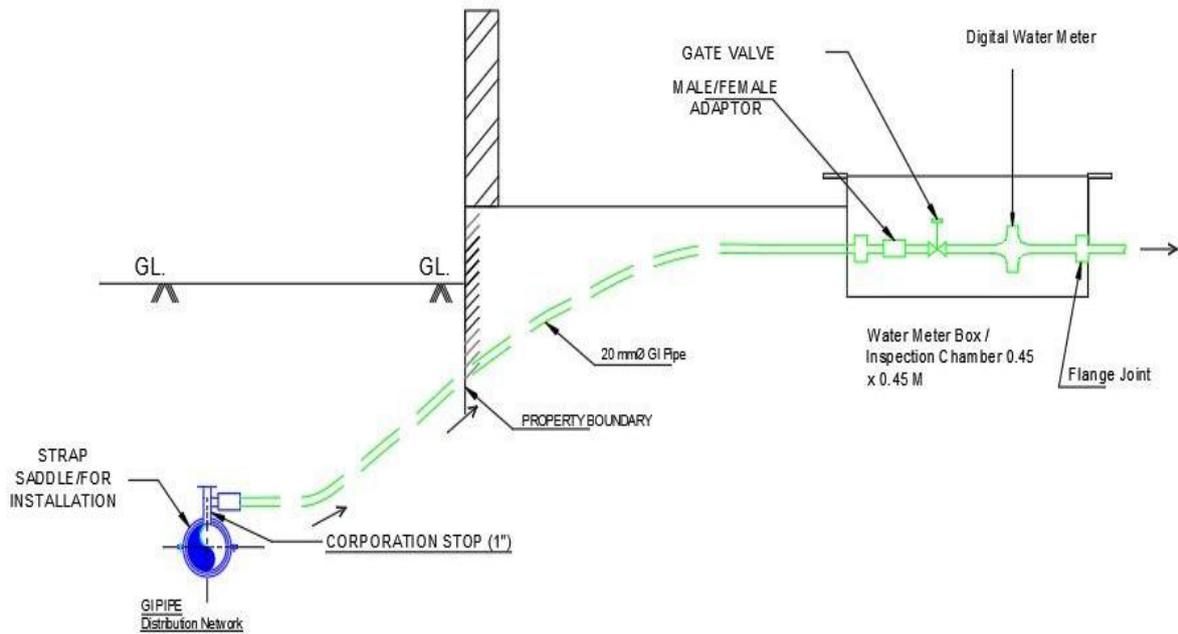
Source: Phuentsholing Thromde

**Figure 7: Schematic Diagram of the Water Distribution Network showing pipe sizes**



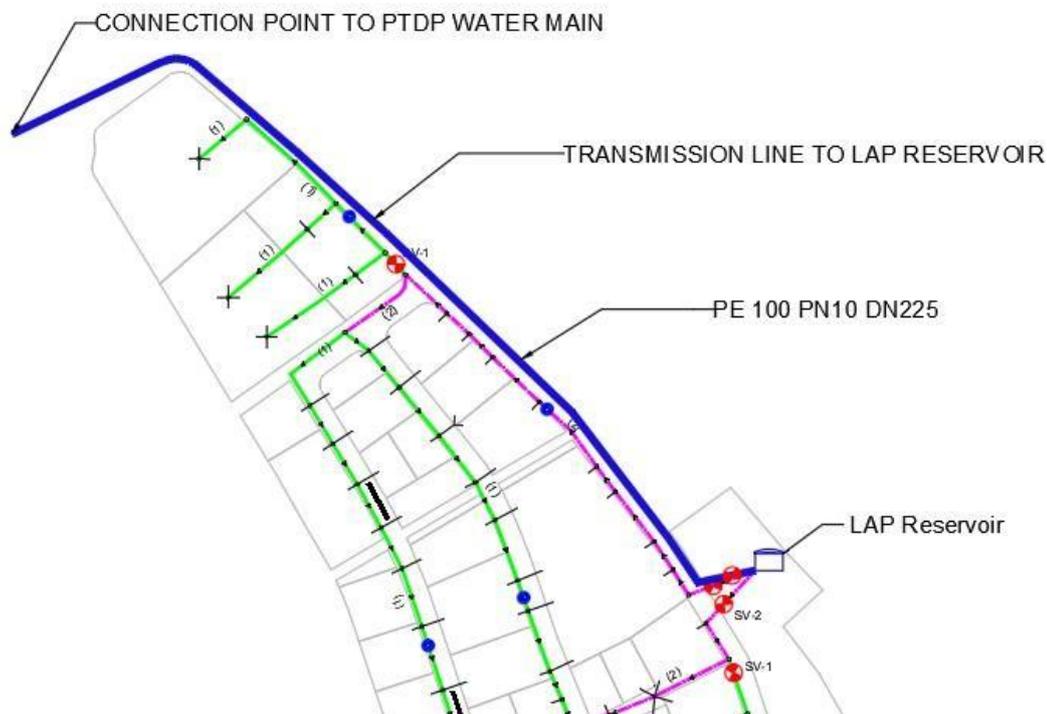
Source: Phuentsholing Thromde

**Figure 8 : Cross-section of the Utility Duct with water main and lateral pipe for consumer connection**



Source: Phuentsholing Thromde

**Figure 9: Pipe Line Connection between PTDP and LAP Reservoir**



Source: Phuentsholing Thromde

34. **Emergency/Water Shortages:** Interconnection between the PTDP and LAP reservoirs will be kept connecting the two networks, in case of an emergency. During the design of PTDP's network, a location for a possible LAP connection was identified. This location (Figure 9) has been used as the taping point to convey water to the LAP reservoir.

### III. SEWER SYSTEM

35. **Design.** The sewer network is designed in line with the Urban Design of Ammochhu LAP and to handle a fully developed LAP. Using the base 2022 population of 1085 persons, a conservative 6.0% growth rate (over twice Phuentsholing's rate) was used for future projections, assuming rapid development due to the LAP's location and topography. In addition to wastewater generated from Ammochhu LAP, the network was also designed to provide capacity to handle wastewater from backside Dhamdara (using an estimated growth rate of 5% over the 2022 population of 350 persons). Using these estimates of the current population and a conservative growth rate, the following flow volumes were calculated.

36. For determining the STP capacity, the DPR initially adopted population projections that estimated the total wastewater flow from the Ammochhu LAP and the backside of Dhamdara at 1.24 MLD. However, during the detailed infrastructure design phase, bilateral meetings with PTDP were held to integrate the Thromde and PTDP sewer systems. Consequently, the full carrying capacity of the Ammochhu LAP was incorporated, increasing the required capacity to 3.25 MLD. Accordingly, a total provision of 9 MLD including scope for future expansion has been integrated into the new STP at PTDP to accommodate sewage flows from both the existing lagoon-type STP and the Ammochhu LAP. The new STP is completed with a capacity of 3 MLD (6 MLD primary and 3MLD secondary) which can also treat Thromde's existing sewage. The capacity of the STP shall be increased in a phased manner depending upon the scale of development. The existing lagoon-type STP has a capacity of 2.5 MLD but the existing usage is only 1.85 MLD. The existing lagoon-type STP shall be reclaimed and used for public infrastructure development.

37. The network will consist of a network of pipes, connecting manholes or access chambers and conveying the wastewater to the main sewer pipe along the PCR road. The main connection sewer point is already constructed at outfall 1. The sanitary sewer network was designed to collect the wastewater via gravity flow. The wastewater will be collected via laterals through property connections and conveyed to the nearest manhole. The manholes are connected via sewer pipes with the sizes gradually increasing as it flows south collecting more wastewater.

38. A primary sewer line is designed to run along the Western Avenue Road which acts as both a collector of wastewater from the laterals (which connects to properties lying on either side of the road) as well as secondary sewer pipes (which collect wastewater from properties located on higher elevation). The primary sewer line will drain the wastewater collected from the LAP to a designated manhole on the main PTDP's primary sewer line.

39. A range of pipe sizes from 160mm to 315mm are proposed to provide adequate capacity to convey the peak flow along with a 450mm RCC Hume pipe under the drain outfalls.

40. **Lateral/Property connection:** Private properties can connect via an inspection chamber near the property boundary, located on either side of the main sewer. This chamber links to the nearest manhole using a 150mm HDPE pipe. Inspection chambers are designed to be 1.2m deep, ensuring adequate slope for effective wastewater collection.

41. For properties not near an inspection chamber, implementing easement rights is required to install a sewer pipe connecting the property to the chamber along the property boundary. These properties are identified in the sewer network's master plan. However, if connecting to the network via the property boundary is not practical, maintaining the current use of septic tanks for wastewater collection will be advised to the property owner.

**Table 4: Sewer system components**

Sl. No.	Type of Intervention	Description	Number
1	Primary Sewer Line Construction	Main trunk line along Western Avenue; redesigned to avoid depressed sewer.	1 system
2	Secondary Sewer Lines	Collect wastewater from higher elevations and connect to primary line.	Multiple
3	Property Laterals	Household/property connections feeding into nearest manhole.	Multiple
4	Manholes	Inspection manholes placed at ~30m spacing; invert adjustments applied.	Multiple
5	450mm RCC Hume pipe under outfalls		
6	HDPE Pipes (Main Sewer Pipes)	Pipe sizes selected based on hydraulic modeling: <b>150 mm, 200 mm, 250 mm, 300 mm, 315 mm</b>	
7	450 mm RCC Hume Pipes	RCC Hume pipes under all outfall	Several

SI. No.	Type of Intervention	Description	Number
	under Outfalls	drains; installed during drain construction.	outfalls
8	HDPE Pipes (Main Sewer Pipes)	HDPE pipe sizes: 150, 200, 250, 300, 315 mm; plus 450 mm Hume pipes.	-
9	Inspection Chamber Construction	RCC chamber with slab, reinforcement, HDPE inlets/outlets.	Multiple

Source: Phuentsholing Thromde

**Table 5: Details of pipe requirements**

SI.No,	Pipe Diameter	Pipe Length (m)
1	160	1,131
2	225	1,864
3	250	490
4	315	1,074
5	450	175

Source: Phuentsholing Thromde

**Figure 10: Network with Dedicated Main Sewer Trunk Along Western Avenue**

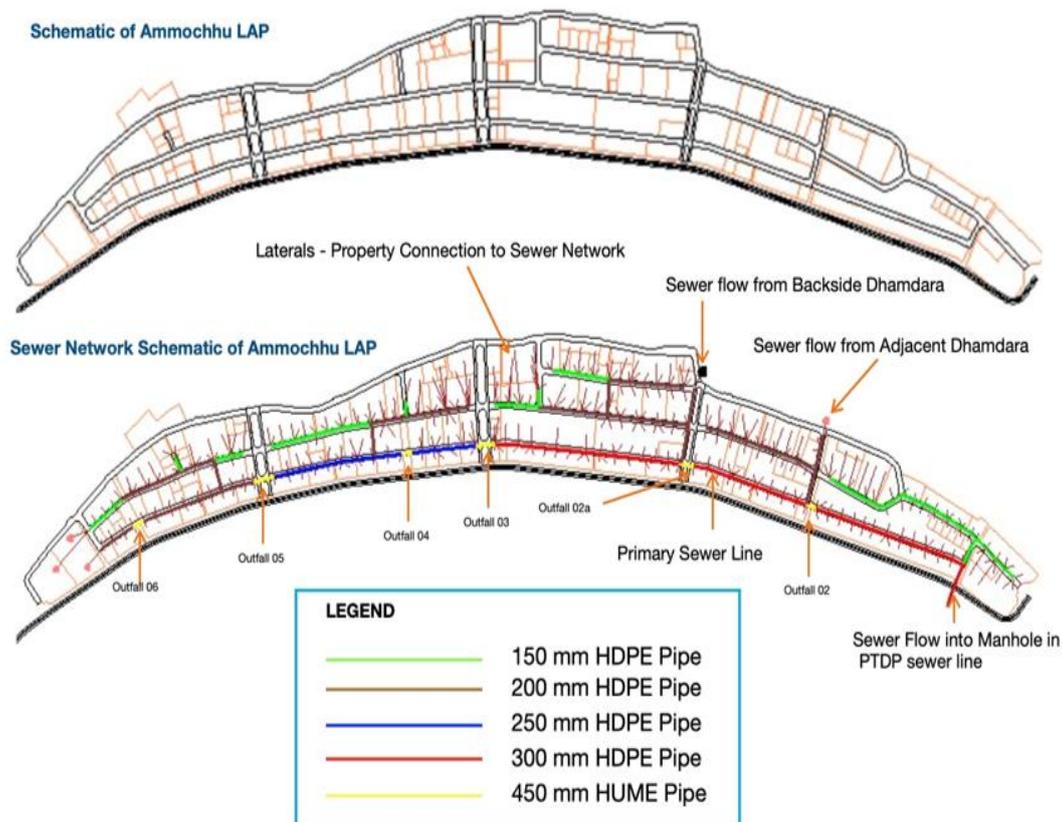


Figure 5-1: Network Option 2 with Dedicated Main Sewer Trunk Along Western Avenue

Source: Phuentsholing Thromde

#### IV. SERVICE UTILITY DUCT

42. **Design.** The Service Utility Duct System consists of a centralized underground corridor designed to transport electrical and telecommunication lines throughout the LAP. The system is designed to ensure an orderly, secure, and future-ready configuration of utilities, consolidating them into a singular Reinforced Cement Concrete (RCC) duct strategically positioned along the internal avenue roads. The duct network serves as the backbone of the LAP's electrical and telecommunications distribution, arranged to facilitate accessibility, scalability, and enduring maintenance. This centralized duct system not only obviates the necessity for future road excavation and utility disruption but also equips the LAP for prospective service expansions, including fiber-optic networks and augmented electrical capacities.

43. The **proposed utility duct network** consists of reinforced cement concrete (RCC) duct laid along the roads which will be used as footpaths. The duct sections have standardized dimensions (generally 1.2–1.5 m width depending on service load) and house conduits for **power cables, telecommunication lines, and water supply pipes**. These ducts sit beneath the footpath where adequate space is available within the 10 m road Right-of-Way and along the outfalls. In constrained areas, particularly along Central Avenue, the duct routes are coordinated with stormwater drains so both systems can operate without spatial conflict.

44. To ensure proper operation and maintenance, the design includes **RCC utility manholes** placed at regular intervals (typically **15 meters**). These manholes provide access for cable pulling, inspection, fault repair, and installation of additional conduits in the future. In locations with limited corridor width, the service duct manholes are integrated with **RD roadside drain manholes**, optimizing space without compromising functionality. Each manhole includes safety features such as internal ladders (20 mm TMT bars), ventilation openings, and removable covers. Property connections are provided through **100–150 mm HDPE/PVC conduits** branching from the closest manhole to individual plots, ensuring every plot has access to both telecom and electrical connections.

45. The electrical distribution system within the LAP leverages the duct network to install **new power infrastructure**, including a new substation and the **relocation of two existing substations** obstructing development. The design introduces **Ring Main Units (RMUs)** at strategic nodes to create a looped 11 kV system, ensuring reliability and continuity of supply. Additionally, **Unitized Substations (USS)** are planned for areas where space constraints limit construction of full substations. Together, these elements provide a robust distribution system feeding all residential, commercial, and institutional zones within the LAP.

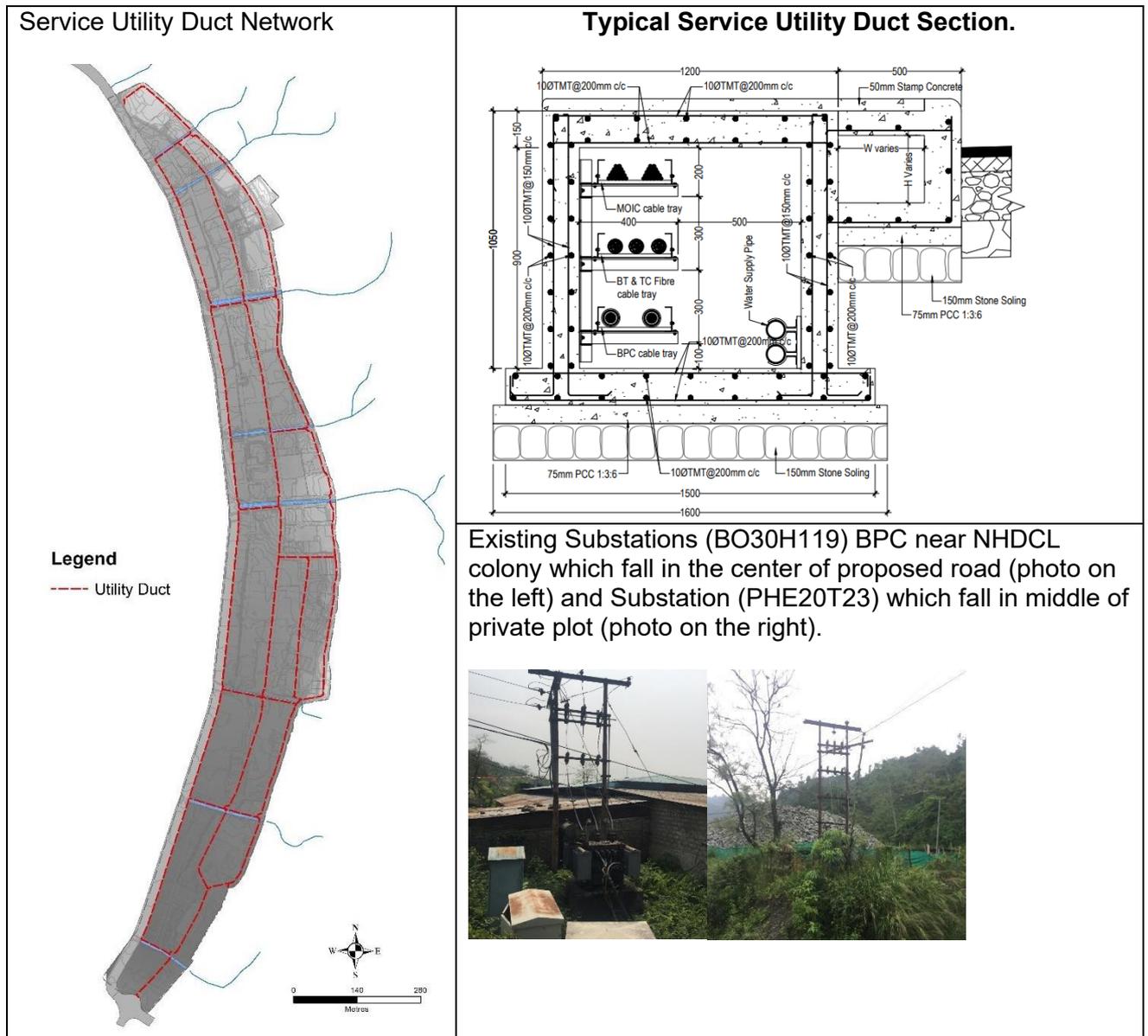
46. This will require the relocation of 2 existing BPC substations, including BO30H119 near the NHDCL Colony and PHE20T23 within a private plot, both obstructing the proposed road alignments. Their relocation is essential to accommodate the redesigned road network and to integrate all utilities into the duct corridor.

**Table 6: Service Utility Components**

Sl. No.	Type of Intervention	Description	Number	length	Total
1	Service Utility Duct Network	Trunk duct along roads for laying power cables, telecom cables and future services.	1 network	-	RCC duct network
2	Utility Duct Section Construction	RCC duct sections with compartments for power cables, telecom cables, water pipelines.	Multiple sections	1.2–1.5 m width sections	RCC duct with cover slabs
3	Utility Duct Manholes	Inspection manholes for maintenance and cable pulling.	30–40 m spacing	Manholes with ladders	Utility Duct Manholes
4	Property Electrical/Telecom Connections	Electrical and telecom service conduits from duct to each plot.	-	HDPE/PVC feeder conduits	Property Electrical/Telecom Connections
5	New Substation (Proposed)	One new substation proposed to meet LAP demand.	1	-	New BPC substation
6	Relocation of Existing Substation	Two existing substations relocated due to road alignment conflicts.	2	-	Shifting + reconnection
7	Ring Main Units (RMU)	RMUs to provide looped 11 kV distribution.	Several	-	RMU installations
8	Unitized Substation (USS)	Compact unitized substations for constrained areas.	Several	-	Pre-fabricated USS
9	Road Crossings for Duct	RCC-encased sleeves at road junctions for duct crossings.	Multiple	At all crossings	RCC encased crossings
10	Connection to BPC Power Source	Full LAP distribution connected to BPC grid.	1 source	-	Integrated LAP power feed

Source: Phuentsholing Thromde

**Figure 11: Proposed Service Utility Duct Network and Typical Service Utility Duct Section**



Source: Phuentsholing Thromde

## V. ROAD WORKS

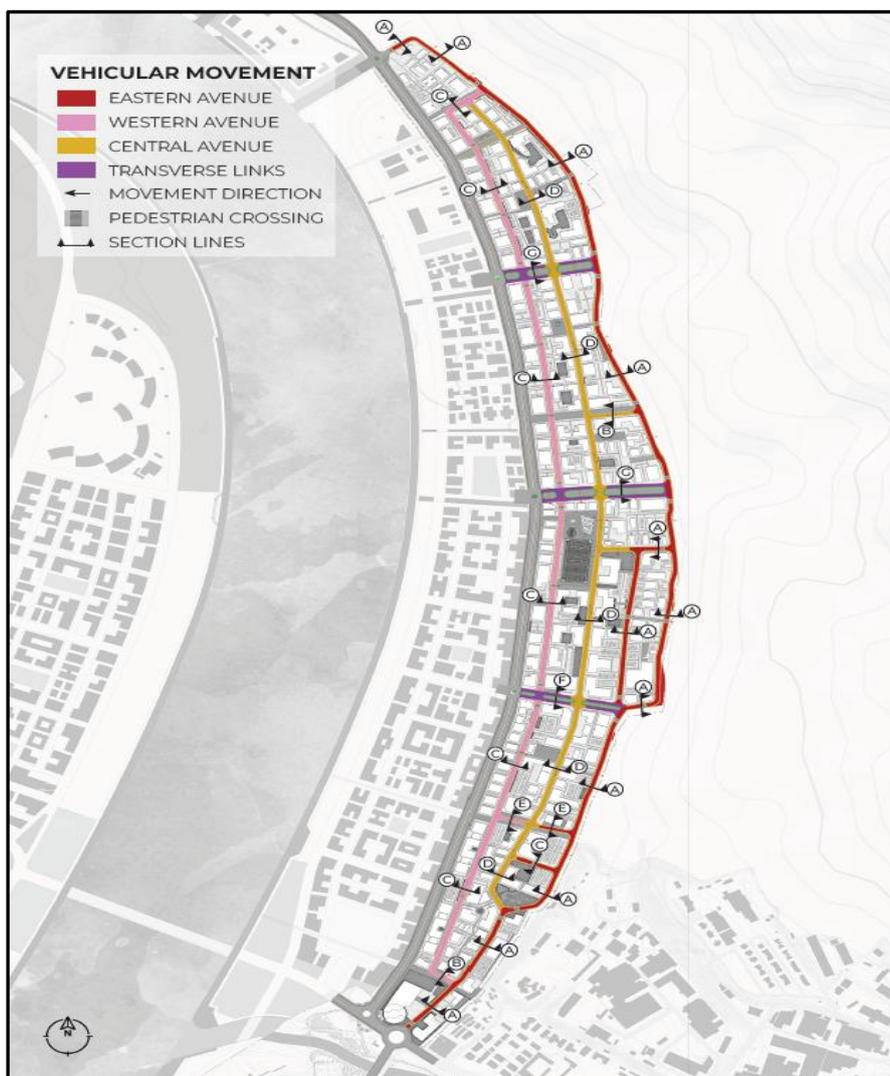
47. **Design.** The proposed road network covers 15 roads (R-1 to R-15) roads classified into Primary, Secondary, and Access categories totaling 7.96 km. Roads R-1 to R-7 fall under 10 m and 8 m right of ways (RoWs), while R-10 to R-15 are 4.5 m local access lanes. The table below shows the minimum width requirement of various road elements as set by Urban Road Standard-2002.

**Table 7: Minimum width requirement-road elements as per the Urban Road Standards, 2002**

Sl.No.	Road Classification	ROW (Min-Ideal)	Max No. of Lanes	Carriage way Width (m)	Footpath/Drain/Shoulder/Median (m)	Minimum Widths
1	Primary	Minimum-15m Ideal-18m	4	12-13.2	3.0-4.8	Footpath=1.20m Drain = 0.30m Shoulder = 0.50m
2	Secondary	Minimum-10m Ideal-12m	2	6.0-6.6	4.0-5.4	
3	Access	Minimum-6m Ideal-8m	1	3.5	2.5-4.5	

Source: Phuentsholing Thromde

**Figure 12: LAP map indicating the roads proposed under the project**



Source: Phuentsholing Thromde

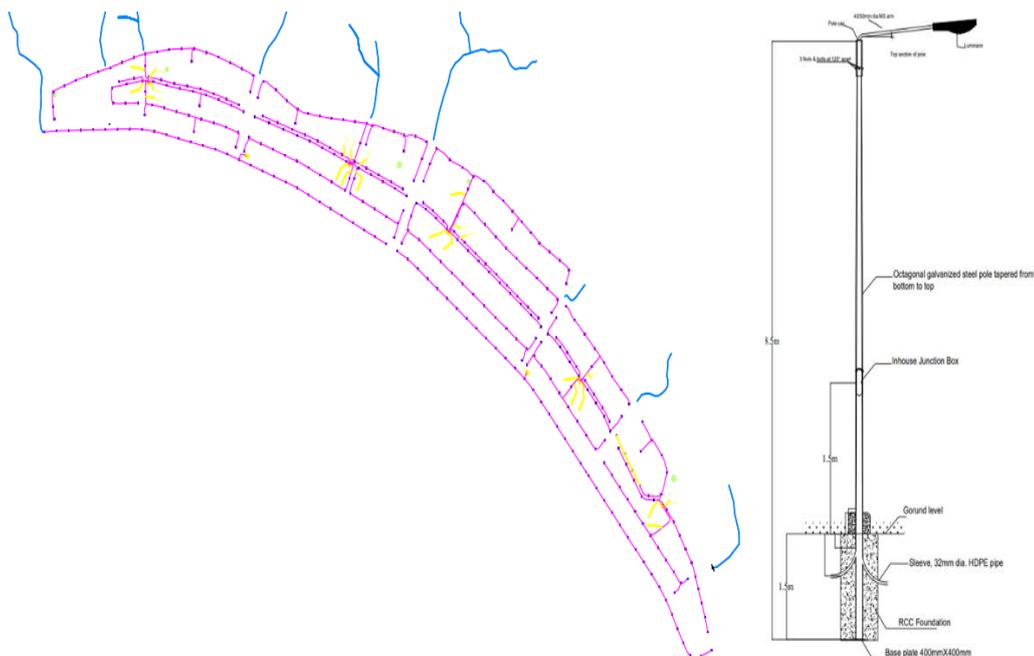
## VI. STREET LIGHTING.

48. Design. The streetlighting system is planned to cover all major and minor roads, ensuring uniform illumination for road safety, pedestrian visibility, and urban aesthetics. The distribution follows the road hierarchy — higher lighting density on primary and secondary roads and reduced spacing on local access lanes.

49. The design specifies two types of lighting poles. Standard poles across the LAP are 8-meter galvanized steel shafts with tapered octagonal cross-sections. These poles have a minimum base diameter of 130 mm, top diameter of 70 mm, and wall thickness of at least 3 mm, with a zinc coating of minimum 85  $\mu\text{m}$  and density of 500  $\text{g}/\text{m}^2$  to protect against corrosion.

50. Decorative poles are introduced along Central Avenue (R-2) to enhance the boulevard's visual appeal, aligning with the LAP's urban design vision. The proposed locations of the lighting poles are shown in Figure

**Figure 13: Proposed street lighting and Typical Street Light Elevation (Figure on the right)**



Source: Phuentsholing Thromde

## VII. FOOTPATH

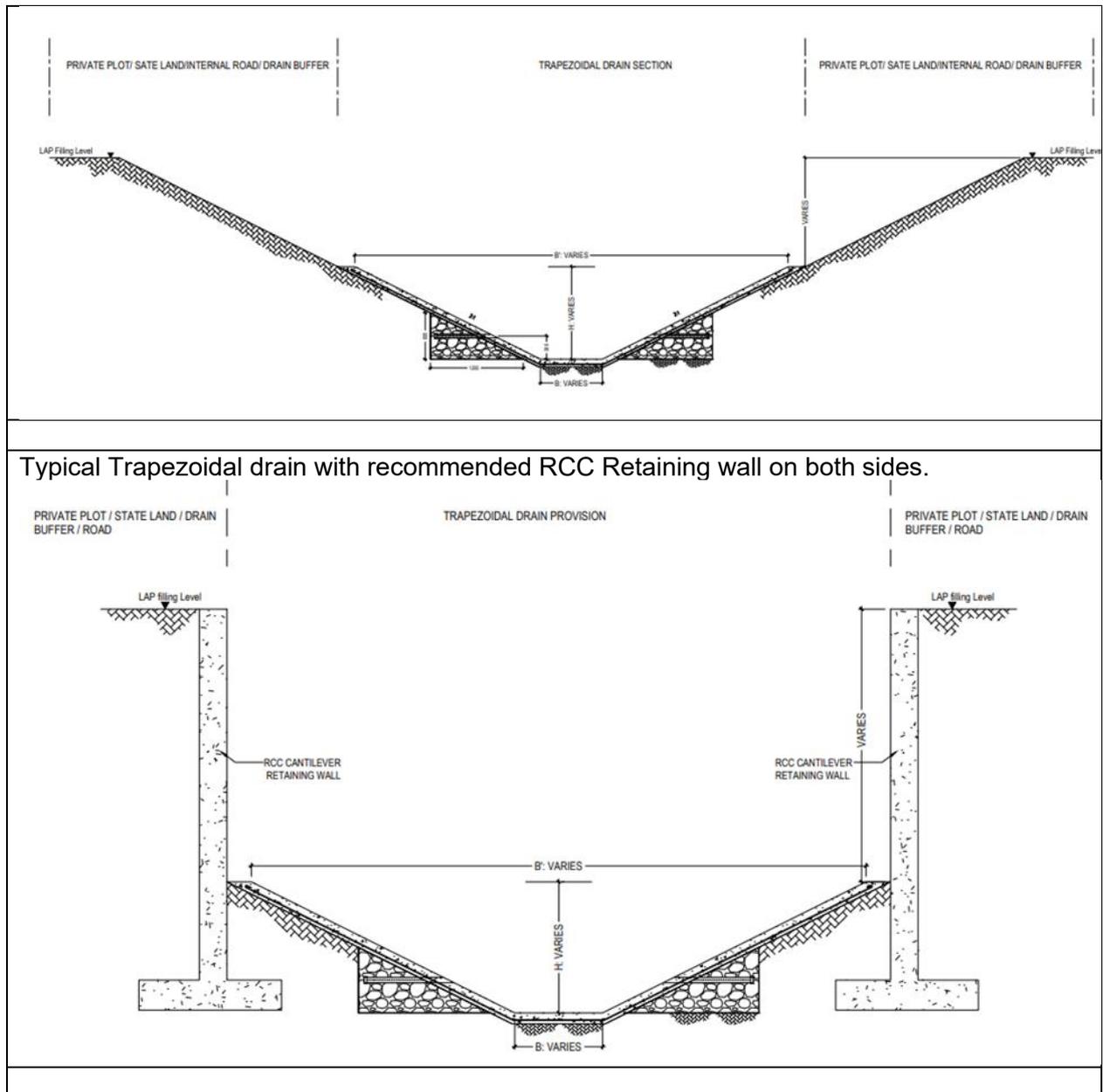
51. Design. The total length of the footpath will be 7.96km as per the road design. Footpaths are designed along the LAP roads. The majority of the LAP roads have a RoW of 10m, which consists of a 6.6m carriageway with 1.9m / 1.5m footpaths on roadsides.

## VIII. EMBANKMENT WALL

52. Design. There are eight outfalls (OF1, OF2, OF2A, OF3, OF4, OF5, OF6, and OF7) within the LAP that will function as the primary stormwater drainage system. The outfall levels have been determined in accordance with the PTDP levels. Embankment walls, designed as

retaining structures, are proposed along these outfalls to ensure stability and safeguard surrounding infrastructure. These embankment walls will comprise a combination of RCC retaining walls and RRM road retaining walls.

**Figure 14 Typical Section of Trapezoidal Drain section showing extent of Embankment**



Source: Phuentsholing Thromde

## IX. CULVERTS

53. Design. The 8 outfalls within the LAP have 25 crossings (culverts) that will be constructed during the filling and embankment construction process.

Figure 15: Location of Proposed Outfalls



Source: Phuentsholing Thromde

### III. LAND AVAILABILITY

#### A. Land Acquisition and Involuntary Resettlement

54. The proposed construction work for the project components will be undertaken on vacant, unused land, free from any encumbrances. Therefore, the proposed project does not envisage any land acquisition or permanent involuntary resettlement impacts. The components are proposed to be constructed within the existing right of way (ROW) of Phuentsholing Thromde. The implementation of project components is proposed within the available existing ROW and government land, thus, avoiding any involuntary resettlement impacts. Further assessments will be undertaken during joint surveys and measurements at all component locations and road alignments, through which drainage, sewerage, water supply pipelines will be laid, by the project Contractor and Thromde, before start of construction work. The due diligence report will be updated accordingly before the start of construction work.

55. As mentioned by Phuentsholing Thromde, during consultation, land was procured through Land Pooling process in 2014 for public roads and associated facilities. The project components are proposed to be constructed on these land parcels, identified as public road ROW, and it is under Thromde ownership. The Land Pooling data has been presented in **Appendix 2**. About 53 acres (214,483 sqm) of land will be utilized for implementing the project.

56. During site visits to the project component locations, secondary temporary structures<sup>12</sup>, like wired fencing, concrete pillars, on government land were identified. Phuentsholing Thromde clarified that these secondary temporary structures will be voluntarily removed by the households. A third-party validation will be obtained on the voluntary removal process of the secondary temporary structures, and/or replacement costs to be provided to those households unable to vacate voluntarily by the contractor. The cost for removal of the structures would be considered under the contingency cost of the contractors and will be included in the bid document.

**Figure 16: Photographs Showing Secondary Temporary Structures**



57. Phuentsholing Thromde will ensure at least six months advance notice to the households for voluntarily removal of the secondary temporary structures. The independent third-party validation will ensure that the process is voluntary and without any coercion. The households will have right to the salvage materials.

58. The proposed package is not assessed to have any land acquisition or

<sup>12</sup> Secondary structures are like extended sheds, stairs, ramps, fencing, boundary walls, pillars, etc. that do not impact any main residential or commercial structure.

involuntary resettlement impacts, both permanent and temporary, or any impact on Common Property Resources (CPRs).

59. The draft due diligence report will be updated based on assessments undertaken during joint surveys and measurements at all component locations and road alignments, through which drainage, sewerage, water supply pipelines will be laid, by the project Contractor and Thromde, before start of construction work. However, if there is any change in design or a new area is included, involuntary resettlement impact will be assessed, and the due diligence report will be updated and if required a resettlement plan will be prepared.

#### IV. CONSULTATION PARTICIPATION AND DISCLOSURE

##### A. Consultation and participation

60. Public participation and community consultation are integral to the project's social and environmental assessment process. The site visits and discussions/meetings were conducted to assess land acquisition and involuntary resettlement impacts, inform and educate stakeholders about the project, and develop a community-inclusive design. The consultations were undertaken with key stakeholders, local community members, and the shopkeepers along the project alignment to help identify their concerns and apprehensions related to the project and their priorities. It was explained to the participants that the purpose of the infrastructure development is to improve the water logging problems and sewerage system and thus, betterment of living conditions in the project area. Consultations were held during the project preparation stage with project beneficiaries, elected representatives of respective municipal wards (*Demkhongs*), community members and other stakeholders. The tools used for consultations were individual discussions and Focus Group Discussions (FGD). These consultations provide insights into the present situation and needs of the communities. The due diligence report is prepared in consultation with stakeholders.

61. The participants are aware of the project, and they expressed their willingness to provide support during the execution of the work. The participants informed that proposed work will be beneficial to their area as it will improve the living conditions and public health. They suggested that the detailed project information should be disseminated to the public.

62. During project preparation, stakeholder consultation meeting was conducted, which were attended by **29** participants, including **24%** women and eight (08) landowners (whose land was obtained through land pooling). Public announcements regarding the meeting were disseminated via the Phuentsholing Thromde website and its official social media platforms on December 5, 2025. Furthermore, a public notice was published in the national newspaper, Kuensel, on December 6, 2025. The information was also circulated through the Ammochhu plot owners' WhatsApp group and relayed by the elected representative, Thromde Tshogpa. The summary of stakeholder consultation is presented in Table 9 The attendance sheets and photographs of the FGDs/consultations are presented in **Appendix 3**.

**Table 8: Summary Outcome of Consultations**

Date	Location	No. of Participants			Total	Participant Details
		Male	Female	% of Female		
22.12.2025	MPH, Phuentsholing Higher Secondary School	22 (Including 08 Landowners)	7	24	29	Local Residents, Landowners, Businessmen, Govt. Employee, Plot Owners & others

63. The consultation program conducted by Phuentsholing Thromde, outlined the scope of the project and anticipated advantages. The participants were briefed about the allocated budget and the various components slated for implementation. Additionally, the current status of the project and proposed activities were thoroughly discussed, including provisions for grievance redress both prior to and throughout the project's execution. The landowners emphasized that they have no pending issues and they are happy that the land will be utilized for betterment of the civic infrastructure in their area. It was emphasized that the project is well planned and adopts a holistic approach, covering multiple infrastructure components without causing adverse impacts, thereby indicating a highly positive overall outcome. The public was also presented with examples of best practices demonstrating how social welfare is integrated into projects of a similar scale.

## V. Grievance Redress Mechanism

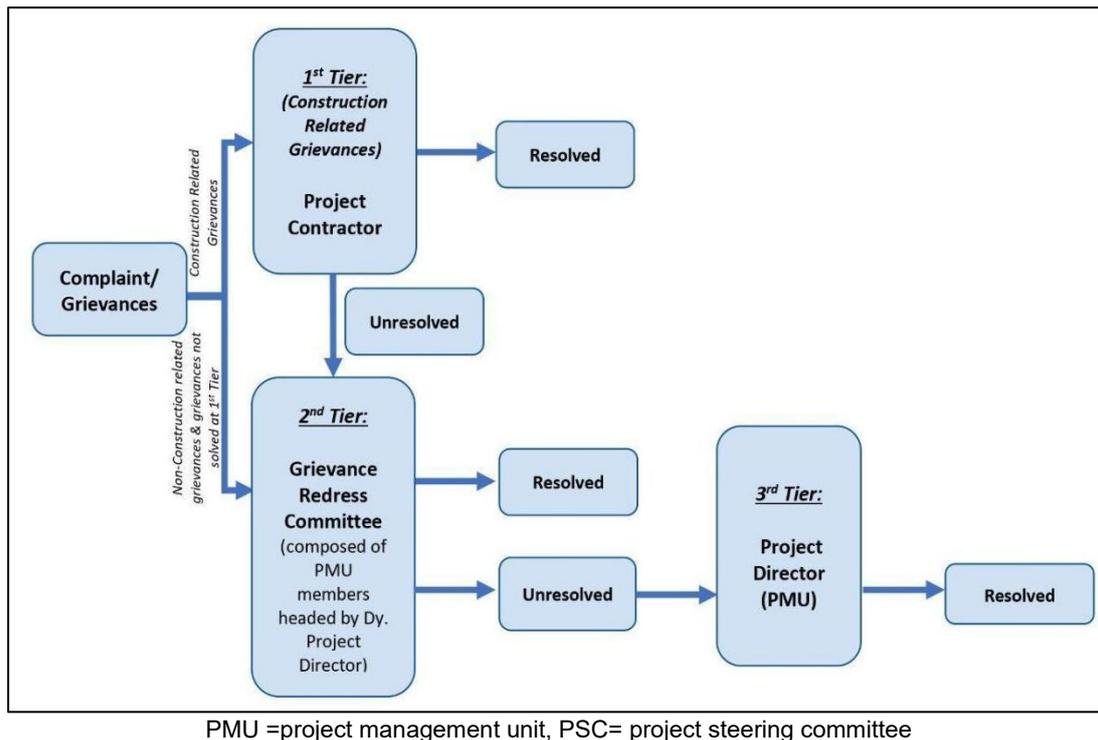
### A. Institutional Arrangement

64. The PMU will institutionalize a GRM to effectively address any grievances that may arise during project preparation, implementation and operation. The project will adopt a three-tier GRM for implementation in the project. The GRM will receive, evaluate, and facilitate the resolution of social, environmental, or other project-related grievances. The GRM will aim to provide a time-bound and transparent mechanism to voice and resolve social and environmental concerns linked to the project. The grievance redress process and timeframe involved in the GRM is described below:

65. **Process and Timeframe:** The grievance redress process and timeframe involved in the GRM is described below:

- **First-tier:** The Environment Officer of PMU will receive and resolve within 7 working days if there are complaints before commencement of the construction. If any grievances before the start of the construction are not resolved by the Environment Officer, the grievances shall be submitted to GRC for deliberation. The project contractor will receive and resolve within 7 working days for any construction related grievances. If grievances are not related to the construction activities, the complainant(s) can submit the grievance to the Phuentsholing Thromde Environment Officer, who will submit this to the PMU.
- **Second-tier:** If the complainant(s) is not satisfied with the decision or response he/she receives from the Contractor within 7 days of submitting the grievance, the complainant can submit his appeal to the PT Environment Officer, who will be the member secretary for the GRC committee at the PMU. The Deputy Project Director will be responsible for receiving complaints, reviewing them in coordination with the Grievance Redress Committee and ensuring their resolution within a maximum of 15 working days.
- **Third tier:** For grievances that remain unresolved and require intervention at a higher level, the matter will be escalated to the Project Director at the third level, and the resolution will take a maximum of 10 working days.

**Figure 17: Grievance Redress Process**



66. Aside from the project's GRM, an aggrieved person shall have access to the country's legal system at any stage. This access can run parallel to the GRM process and is not dependent on its outcome.

67. **Composition.** The GRC will be established at the PMU Office in Phuentsholing Thromde, comprising selected members from the PMU. The Deputy Project Director of PMU will serve as the Chairperson of the GRC, with the Phuentsholing Thromde Environment Officer acting as the Member Secretary.

68. The GRC, as detailed in Table 9, will be responsible for reviewing and recording all grievances related to the project. Each submission will be documented both in logbook and in excel database with the complainant's name, contacts (except in anonymous cases), the date of submission, GRM level, the nature or subject of grievance, safeguard classification (social or environmental), status of the complaint (under the review, open/pending, closed etc.), outcome (accepted, partially accepted, rejected), resolution date. Only project-related complaints will be accepted and reviewed, including anonymous complaints.

69. The GRC will convene regular quarterly meetings with all members and may call special meetings as needed when grievances are received. It will review each case, identify appropriate resolutions, and engage relevant parties (including experts focused on specialized spheres) in the resolution process. Meetings addressing specific grievances must include the individual who submitted the complaint, except in cases of anonymous complaints. Grievances will be addressed within a maximum of 15 working days, although more complex cases may require additional time depending on their nature and severity. Depending on the degree of the case, an additional time may be agreed with the complainant submitting the written notification to her/his about the extended timeline in advance to resolve the grievances.

70. Any affected person may use the ADB Accountability Mechanism by directly contacting ADB's Complaint Receiving Officer (CRO). Before submitting a complaint to the Accountability Mechanism, affected people must make a good faith effort to resolve their problems by working with the concerned ADB operations department (in this case, the Bhutan Resident

Mission). The ADB Accountability Mechanism information will be included in the project-relevant information to be distributed to the affected communities, as part of the project GRM.

**Table 9. Composition of Grievance Redress Committee**

Position	Remarks
Deputy Project Director (PMU)	Chairperson
Environment Officer (PMU)	Member Secretary
Project Manager (PMU)	Member
Admin Officer (PMU)	Member
Project Engineer (PMU)	Member
Legal Officer (PMU)	Member
Contractor (Project Manager)	Member
Local Government Leader ( <i>Tshogpa</i> / Councilor)	Members are on a call basis based on the nature of grievance representing the relevant agency. This concerned agency will nominate the officials to represent their office during the time of grievances.
Representative from reputable community-based organization	

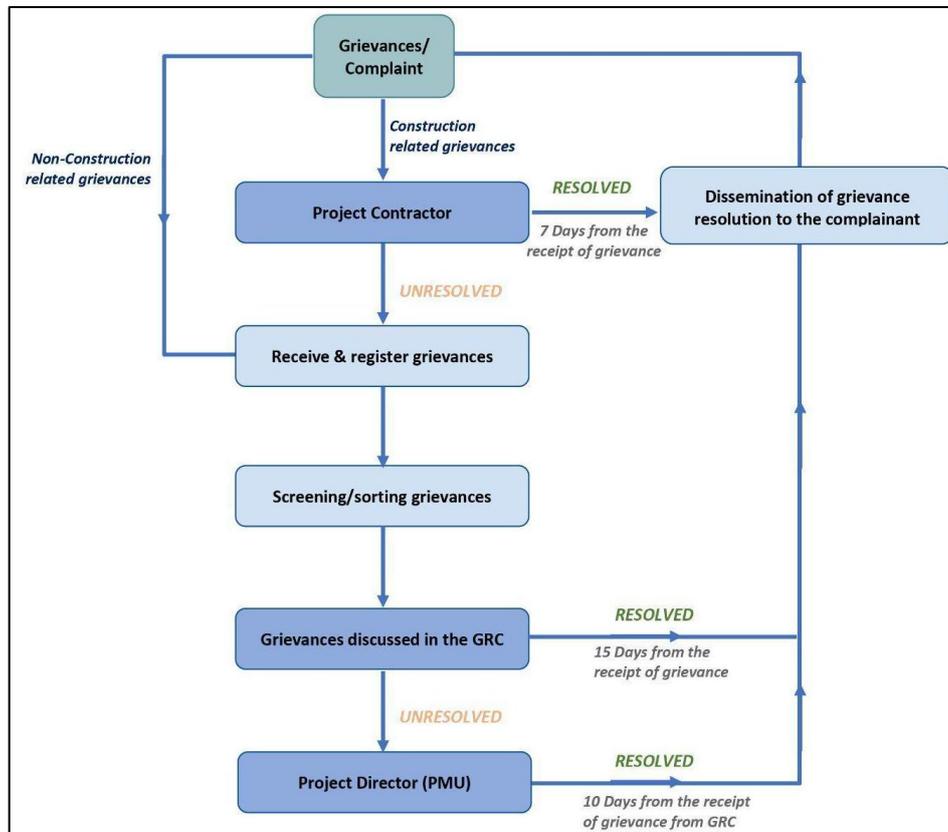
## B. GRC Mechanism and Flow of Information

71. The broad outline of the GRC mechanism and flow of information is given below:

- The Phuentsholing Thromde Environment Officer will check the grievance redress boxes weekly and communicate any received grievance to the GRC.
- Each complaint/grievance will be issued a reference number. The Phuentsholing Thromde Environment Officer will issue each aggrieved person acknowledging that the grievance has been complaint and details on the process to follow.
- The GRC will work with aggrieved persons to resolve the complaint/grievance. On settlement of the complaint, the Phuentsholing Thromde Environment Officer will verify that the complaint is addressed (through consultation with the affected parties) and issue a letter to the aggrieved person citing the findings of the GRM investigation and any action taken regarding the complaint.
- The decision on the grievance must be communicated to the aggrieved person by the GRC within a maximum timeframe of 15 days with appropriate action taken for resolution of the issue.
- All grievances will be documented and indexed. The meeting proceedings and actions against each of the grievances will be documented by the Environment Officer.
- If grievance requires a policy decision or remains unresolved at GRC level chaired by the Deputy Project Director, the case will be forwarded to Project Director for further resolution which will be resolved within 10 days.
- All complaints lodged with the GRC will be recorded in a proper GRC register at the Phuentsholing Thromde office. All details of the grievance and the complaint should be captured in the register. This shall also be reported to ADB within the annual safeguard report. Details of the nature of complaint, status of complaint, and outcome will be included within the safeguard report. ADB's Independent Environmental Specialist will undertake routine inspections of the GRM to ensure that the GRM is functioning.
- The identity of the aggrieved parties will be maintained in full confidentiality as necessary. The information provided in the GRM box will be made accessible only to

the GRC focal person.

**Figure 18. GRM standard operating procedure for the Project**



### C. Cost and Budget

72. All costs involved in resolving the complaints (meetings, consultations, involvement of the required experts, communication and reporting/information dissemination) will be borne by the PMU through provisional sum of the contract document. However, the cost of implementation of the resolutions provided by the GRM shall be borne by the contractor if it is their fault and responsibility. If the issues are beyond the contractor's responsibility, the matter shall be decided by the PMU.

## VI. CONCLUSION

73. The execution of proposed civil works under the project will not trigger any involuntary resettlement impacts. The identified sites for the proposed civil works at all pipe laying zones being proposed on government road rights of way or government land. Temporary disruptions in traffic movement during construction will be mitigated by the contractor through a traffic management plan and simple measures such as proper stacking/storing of construction materials, provision of planks to ensure that pedestrian access to residences is maintained.

74. The draft due diligence report will be updated prior to construction following joint surveys by the contractor and *Thromde* at all component sites and pipeline and drain alignments. Any subsequent design modifications or site changes/expansions will trigger involuntary resettlement assessment, resulting in an either updated DDR or the preparation of a resettlement plan if necessary.

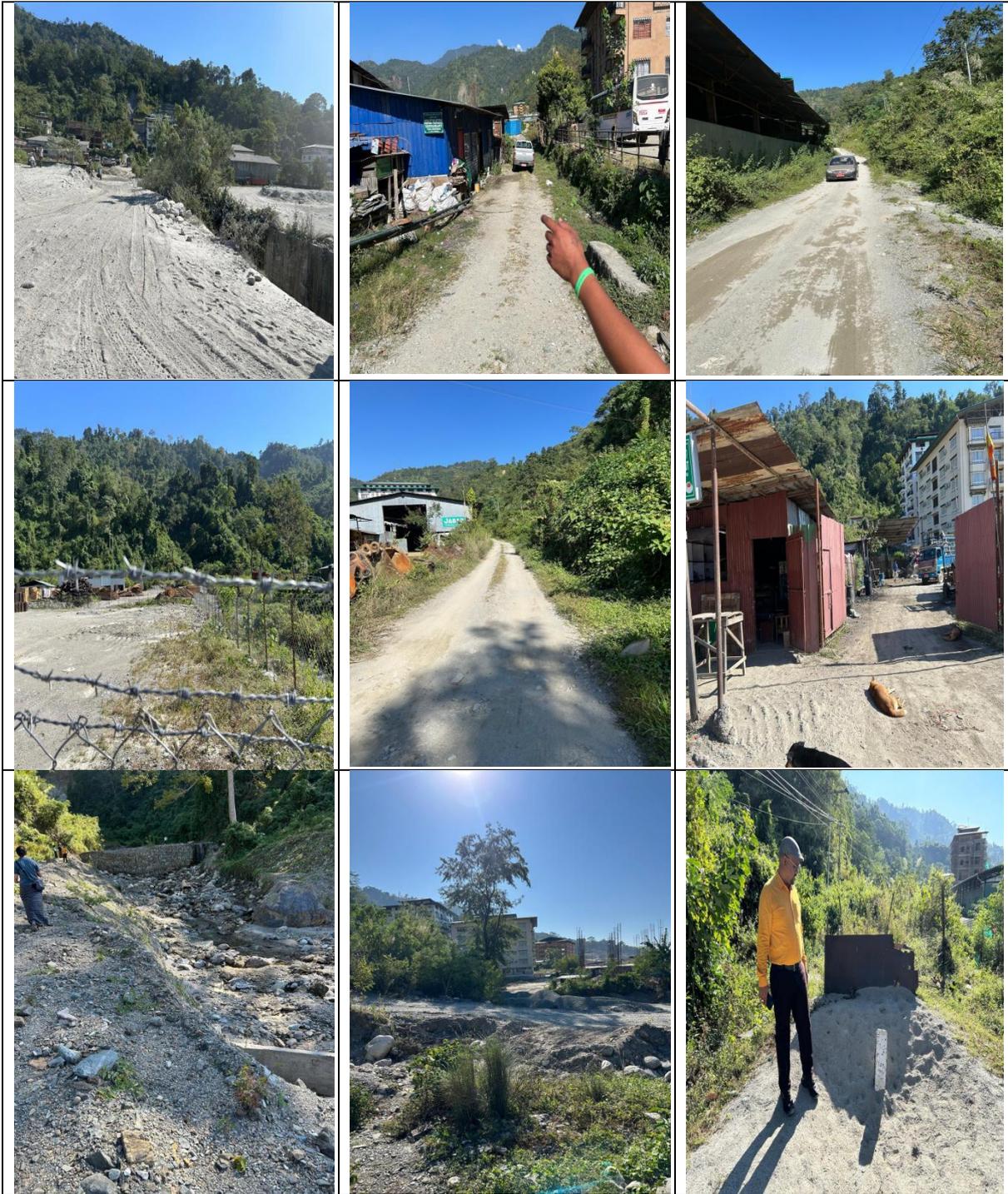
75. During the implementation of the civil works, the project implementation team will pursue a participatory approach and adhere to the dissemination of information to all the project stakeholders. A grievance redress mechanism will be established to address any project related grievances/complaints. The Executing Agency will ensure compliance with all applicable laws and the ADB SPS, 2009.

## VII. NEXT STEPS

76. The major tasks associated with updating the DDR and its implementation are as follows (including but not limited to):

- (i) The draft DDR will be updated with road-wise detailed joint surveys and measurements through which drainage, sewerage, water supply pipelines will be laid, by the project Contractor and Thromde, before start of construction work.
- (ii) The DDR will be updated with google earth maps showing all the component locations, drain and pipeline alignments (both water supply and sewer). Google Earth map showing the locations for construction of outfall structures.
- (iii) If there is any change in the scope of work, or if any additional components are included in the project scope, involuntary resettlement impact will be assessed, the DDR will be updated, and if required, a resettlement plan will be prepared and submitted to ADB for clearance.
- (iv) As proposed in this draft DDR, the contractor will implement mitigation measures to avoid any damages to assets and structures. And if any damages occur as result of the project construction work, it will be immediately restored by the contractor. PMU will ensure compliance monitoring of the measures.
- (v) A third-party validation will be obtained on the voluntary removal process of the secondary temporary structures. The third-party certification will be updated to the DDR.
- (vi) Public consultations will continue with the project stakeholders throughout the project cycle. The updated DDR will include consultations held during and after detailed design.
- (vii) ADB's clearance of the updated DDR based on the final assessment needs to be obtained by the PMU, before commencement of civil construction work.

Appendix 1: Photographs of project Area



### Appendix 2: Land Pooling Data

#	Plot_ID	Area in Sqm	Land pooling percentage	Land pooling contribution	Land after pooling	Proposed plot area	Proposed plot ID
1	PGT-2868	2670.965	0.3	801.289	1869.675	1869.675	
2	PGT-336	2023.430	0.3	607.029	1416.401	1416.401	
3	PGT-517	4734.808	0.3	1420.442	3314.366	3314.366	
4	PGT-2515	12707.104	0.3	3812.131	8894.973	8894.973	
5	PGT-2721	526.110	0.3	157.833	368.277	368.277	
6	PGT-78	3844.517	0.3	1153.355	2691.162	2691.162	
7	PGT-359	4046.860	0.3	1214.058	2832.802	2832.802	
8	PGT-521	2832.802	0.3	849.840	1982.962	1982.962	
9	PGT-121	3844.517	0.3	1153.355	2691.162	2691.162	
10	PGT-152	4046.860	0.3	1214.058	2832.802	2832.802	
11	PGT-496	6515.429	0.3	1954.629	4560.800	4560.8	
12	PGT-3937	867.184	0.3	260.155	607.029	607.029	
13	PGT-3152	607.056	0.3	182.117	424.939	424.939	
14	PGT-3942	1734.369	0.3	520.311	1214.058	1214.058	
15	PGT-846	6083.430	0.3	1825.029	4258.401	4258.401	
16	PGT-1313	4046.860	0.3	1214.058	2832.802	2832.802	
17	PGT-3066	2509.048	0.3	752.714	1756.334	1756.334	
18	PGT-351	4046.860	0.3	1214.058	2832.802	2041.05	PGT-351A
						791.752	PGT-351B
19	PGT-3067	3399.326	0.3	1019.798	2379.528	1649.696	PGT-3067A

#	Plot_ID	Area in Sqm	Land pooling percentage	Land pooling contribution	Land after pooling	Proposed plot area	Proposed plot ID
						729.832	PGT-3067B
20	PGT-2763	607.056	0.3	182.117	424.939	424.939	
21	PGT-2632	647.535	0.3	194.260	453.274	453.274	
22	PGT-2478	566.576	0.3	169.973	396.603	396.603	
23	PGT-328	4049.249	0.3	1214.775	2834.474	2834.474	
24	PGT-311	4046.860	0.3	1214.058	2832.802	2832.802	
25	PGT-199	2023.430	0.3	607.029	1416.401	1416.401	
26	PGT-2496	4046.860	0.3	1214.058	2832.802	1676.82	PGT-2496A
						1155.982	PGT-2496B
27	PGT-2183	4049.780	0.3	1214.934	2834.846	2834.846	
28	PGT-1879	935.535	0.3	280.660	654.874	654.874	
29	PGT-1432	607.056	0.3	182.117	424.939	424.939	
30	PGT-1431	607.056	0.3	182.117	424.939	424.939	
31	PGT-3071	12485.783	0.3	3745.735	8740.048	8740.048	
32	PGT-3075	20403.916	0.3	6121.175	14282.741	14282.741	
33	PGT-707	7094.879	0.3	2128.464	4966.416	4966.416	
34	PGT-3070	3667.816	0.3	1100.345	2567.471	2567.471	
35	PGT-818	930.757	0.3	279.227	651.530	651.53	
36	PGT-1874	1011.715	0.3	303.515	708.201	708.201	
37	PGT-2823	566.576	0.3	169.973	396.603	396.603	
38	PGT-830	1393.282	0.3	417.984	975.297057757876	975.297	
39	PGT-138	8498.380	0.3	2549.514	5948.866	5270.007	PGT-138A
						678.859	PGT-138B
40	PGT-1088	6050.117	0.3	1815.035	4235.082	4235.082	
41	PGT-3069	6068.432	0.3	1820.530	4247.903	4247.903	

#	Plot_ID	Area in Sqm	Land pooling percentage	Land pooling contribution	Land after pooling	Proposed plot area	Proposed plot ID
42	PGT-783	1052.194	0.3	315.658	736.536	736.536	
43	PGT-854	1011.715	0.3	303.515	708.201	708.201	
44	PGT-3068	1358.509	0.3	407.553	950.956	950.956	
45	PGT-2788	2717.151	0.3	815.145	1902.006	1902.006	
46	PGT-1289	1497.333	0.3	449.200	1048.133	1048.133	
47	PGT-3065	1214.111	0.3	364.233	849.878	849.878	
48	PGT-1413	526.097	0.3	157.829	368.268	368.268	
49	PGT-2541	526.097	0.3	157.829	368.268	368.268	
50	PGT-1217	8093.721	0.3	2428.116	5665.604	5665.604	
51	PGT-785	607.056	0.3	182.117	424.939	424.939	
1646	PGT-3927	635.988	0.3	190.796	445.192	445.192	
53	PGT-3928	635.988	0.3	190.796	445.192	445.192	
54	PGT-3131	728.493	0.3	218.548	509.945	509.945	
55	PGT-1331	607.056	0.3	182.117	424.939	424.939	
56	PGT-3122	6128.156	0.3	1838.447	4289.709	4289.709	
57	PGT-3120	7444.195	0.3	2233.259	5210.937	5210.937	
58	PGT-3123	7505.644	0.3	2251.693	5253.951	5253.951	
59	PGT-3567	1156.246	0.3	346.874	809.372	809.372	
60	PGT-1270	1699.729	0.3	509.919	1189.810	1189.81	
61	PGT-2689	1375.364	0.3	412.609	962.755	962.755	
62	PGT-868	566.576	0.3	169.973	396.603	396.603	
63	PGT-2365	1517.506	0.3	455.252	1062.254	1062.254	
64	PGT-1353	809.319	0.3	242.796	566.523	566.523	
65	PGT-151	4046.728	0.3	1214.018	2832.709	1647.33	PGT-151A
						1185.379	PGT-151B

#	Plot_ID	Area in Sqm	Land pooling percentage	Land pooling contribution	Land after pooling	Proposed plot area	Proposed plot ID
66	PGT-230	2023.430	0.3	607.029	1416.401	1416.401	
67	PGT-3130	688.014	0.3	206.404	481.610	481.61	
68	PGT-1479	2023.430	0.3	607.029	1416.401	1416.401	
69	PGT-1977	607.056	0.3	182.117	424.939	424.939	
70	PGT-1882	1011.715	0.3	303.515	708.201	708.201	
71	PGT-817	928.500	0.3	278.550	649.950	649.95	
72	PGT-1887	1011.715	0.3	303.515	708.201	708.201	
73	PGT-3706	608.117	0.3	182.435	425.682	425.682	
74	PGT-149	608.117	0.3	182.435	425.682	425.682	
75	PGT-352	4046.860	0.3	1214.058	2832.802	1708.79	
						1124.012	
76	PGT-2404	607.056	0.3	182.117	424.939	424.939	
77	PGT-784	607.056	0.3	182.117	424.939	424.939	
78	PGT-1481	606.923	0.3	182.077	424.846	424.846	
79	PGT-2091	1011.715	0.3	303.515	708.201	708.201	
80	PGT-2631	688.014	0.3	206.404	481.610	481.61	
81	PGT-231	8093.721	0.3	2428.116	5665.604	1062.883	PGT-231A
						2146.036	PGT-231B
						2456.686	PGT-231C
82	PGT-2527	526.097	0.3	157.829	368.268	368.268	
83	PGT-2699	1533.698	0.3	460.109	1073.589	1073.589	
84	PGT-354	4046.860	0.3	1214.058	2832.802	1854.643	PGT-354A
						978.159	PGT-354B
85	PGT-882	3358.846	0.3	1007.654	2351.192	2351.192	
86	PGT-1300	567.240	0.3	170.172	397.068	397.068	

#	Plot_ID	Area in Sqm	Land pooling percentage	Land pooling contribution	Land after pooling	Proposed plot area	Proposed plot ID
87	PGT-2688	568.833	0.3	170.650	398.183	398.183	
88	PGT-844	1780.024	0.3	534.007	1246.017	1246.017	
89	PGT-1290	1699.729	0.3	509.919	1189.810	1189.81	
90	PGT-1267	607.056	0.3	182.117	424.939	424.939	
91	PGT-2191	4046.860	0.3	1214.058	2832.802	1958.576	
						874.226	
92	PGT-3531	2023.430	0.3	607.029	1416.401	1416.401	
93	PGT-306	566.576	0.3	169.973	396.603	396.603	
94	PGT-2591	1922.298	0.3	576.690	1345.609	1345.609	
95	PGT-815	8093.721	0.3	2428.116	5665.604	4716.646	
						948.9587	
96	PGT-1478	647.535	0.3	194.260	453.274	453.274	
97	PGT-1477	2023.430	0.3	607.029	1416.401	1416.401	
98	PGT-1883	1011.715	0.3	303.515	708.201	708.201	
99	PGT-833	849.798	0.3	254.939	594.859	594.859	
100	PGT-2182	8093.721	0.3	2428.116	5665.604	3750.2	PGT-2182A
						1915.404	PGT-2182B
101	PGT-786	1052.194	0.3	315.658	736.536	736.536	
102	PGT-499	526.097	0.3	157.829	368.268	368.268	
103	PGT-2630	688.014	0.3	206.404	481.610	481.61	
104	PGT-2590	8163.265	0.3	2448.980	5714.286	2945.99	PGT-2590A
						2768.296	PGT-2590B
105	PGT-3073	5991.323	0.3	1797.397	4193.926	4193.926	
106	PGT-3074	6079.714	0.3	1823.914	4255.799	2762.422	PGT-3074A
						1493.3778	PGT-3074B

Source: Provided by Phuentsholing Thromde

### Appendix 3: Summary of Public Consultation

#### Subject: Public Consultation Meeting for Inclusive & Resilient Urban Development Project (IRUDP), Ammochhu LAP

Date: 22nd December, 2025

Venue: MPH, Phuentsholing Higher Secondary School

#### ADB Officials/Representatives Present:

1. Sonam Zam, BHRM
2. Kali Sankar Gosh, Social Safeguard Consultant
3. Deki Yonten, Environmental Safeguard Consultant
4. Rada Dukpa, Gender Focal, BHRM
5. Changa Dorji, Gender Focal,

#### Consultant Thromde Officials Present:

1. Uttar Kumar Rai, Thrompon/Mayor
2. Pema, Executive Secretary
3. Govinda Sharma, Principal Architect
4. Nar Bdr, Nyedra Thuemi
5. Chhime Dolkar Phuntshok, Senior Urban Planner
6. Ugyen Pemo, Urban Planner
7. Yeshey L Dema, Legal Officer
8. Kinley Wangdi, Assistant Environment Officer
9. Purni Maya Tamang, Engineer
10. Rigyel, Asst. Procurement Officer
11. Cheni Maya, Sr. Technician
12. Chencho, Asst. Engineer

*Attendance of plot owners/representatives: Attached*

#### Background/Overview:

The Phuentsholing Thromde, in partnership with the Asian Development Bank, has been diligently preparing for the Inclusive & Resilient Urban Development Project (IRUDP), wherein the principal focus regarding the Ammochhu Local Area Plan (LAP) encompasses the development of critical infrastructures within the LAP. Although multiple public consultation meetings were convened at various phases; specifically during the initial LAP preparation in 2014, the LAP review in 2019, and the Urban Design preparation in 2022, this particular public consultation was organized to apprise the public and relevant stakeholders of the ADB funding secured for infrastructural development in the LAP, delineate the project scope, solicit feedback and observations, and address any associated concerns.

Public announcements regarding the meeting were disseminated via the Phuentsholing Thromde website and its official social media platforms on December 5, 2025. Furthermore, a public notice was published in the national newspaper, Kuensel, on December 6, 2025. The

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information was also circulated through the Ammochhu plot owners' WhatsApp group and relayed by the elected representative, Thromde Tshogpa.

**Meeting:**

The public consultation commenced with a brief address by the Executive Secretary, who conveyed deep appreciation to the ADB for its unwavering support to Thromde in executing various projects to date, and also expressed gratitude to the public for their participation in the meeting. Attendees were apprised of the initiation and approval process of the project, which entailed thorough examination and deliberation. It was underlined that the execution of such endeavors poses significant challenges. Participants were urged to engage actively, seek clarifications, and extend their support to ensure the realization of the project.

The following three presentations were made to the public as follow:

**1. Project Update:**

- The presentation, conducted by Phuentsholing Thromde, outlined the scope of the project and anticipated advantages. The public was briefed about the allocated budget and the various components slated for implementation. Additionally, the current status of the project and proposed activities were thoroughly discussed, including provisions for grievance redress both prior to and throughout the project's execution.

**2. Social Safeguard Policy:**

- The ADB social safeguard consultant delivered a brief presentation outlining the safeguard policies in place to ensure the smooth implementation of the project. It was emphasized that the project is well planned and adopts a holistic approach, covering multiple infrastructure components without causing adverse impacts, thereby indicating a highly positive overall outcome. The public was also presented with examples of best practices demonstrating how social welfare is integrated into projects of a similar scale. In addition, the consultant commended the meeting, noting that it was a meaningful public consultation in line with ADB's expectations.

**3. Environmental Safeguard Policy:**

- The environmental safeguard consultant delivered a presentation on the project's environmental aspects, highlighting that such assessments are a mandatory requirement for all ADB-funded projects. The presentation emphasized the importance of addressing community health and safety, natural hazards, and related risks during the project implementation phase.

Following each presentation, the session was opened for questions/concerns, and the

discussions proceeded as follows:

#	Concerns/Queries	Clarifications Provided
1	<p><b>LAP Filling:</b></p> <ul style="list-style-type: none"> <li>● Concerns were raised about the ongoing land-filling activities in the LAP and their potential impact on future development once the project begins.</li> <li>● Thromde was also asked to clarify who would be responsible for carrying out the filling works.</li> </ul>	<ul style="list-style-type: none"> <li>● It was clarified that any land-filling activities in Ammochhu LAP, whether carried out by private individuals or the Thromde, are conducted in accordance with the levels specified in the Urban Design. All necessary development approvals must be obtained through the Thromde, ensuring that design levels conform to the plan.</li> <li>● Regarding responsibility for filling, it was explained that it is preferable for private owners to fill their own plots as needed, since development plans can vary between plots. For the Thromde to undertake filling across the entire LAP, all temporary structures would need to be cleared, which is difficult to coordinate. Therefore, the Thromde shall focus only on developing essential infrastructure, while individual plot owners will be responsible for filling their plots according to their specific design or construction requirements. The Thromde will, however, provide the required filling levels to ensure alignment with the infrastructure.</li> <li>● It was also noted that during the construction of the PCR (highway), the Thromde, in collaboration with DoST, attempted to fill the LAP as part of the PCR project but was unable to do so because existing structures could not be cleared, despite notifications being issued to plot owners.</li> </ul>
2	<p><b>Drainage, flood &amp; landslides:</b></p> <ul style="list-style-type: none"> <li>● The importance of drainage system and protection against disaster (flood / landslides) were stressed and requested Thromde</li> </ul>	<ul style="list-style-type: none"> <li>● Thromde acknowledged the concern and clarified that disaster resilience, particularly against floods and landslides, remains a top priority and is therefore incorporated as a key focus area within the project.</li> <li>● Construction of the storm water drainage</li> </ul>

#	Concerns/Queries	Clarifications Provided
	To include an extensive provision to address these concerns since the current system/provisions are not enough	system, embankment walls along the outfalls are the main components of the project.
3	<p><b>Ongoing Construction:</b></p> <ul style="list-style-type: none"> <li>The public also raised concerns about how the upcoming project might affect ongoing construction activities, given that these works are already underway before the project begins.</li> </ul>	<ul style="list-style-type: none"> <li>Thromde clarified that the ongoing construction should not face any issues, as all approvals have been granted in accordance with the detailed infrastructure designs.</li> </ul>
4	<p><b>Development of Zones C, D, E of PTDP:</b></p> <ul style="list-style-type: none"> <li>There were also queries regarding the anticipated timeline of developing zone C, D, E of PTDP</li> </ul>	<ul style="list-style-type: none"> <li>Thromde explained that the PTDP is a completely separate project implemented by DHI, and its execution is entirely under their control. Additionally, Zones C, D, and E are located in a different district (Samtse), limiting the Thromde's role in their development. However, since these zones are nearby and could ultimately affect Phuentsholing, efforts were made to bring all PTDP zones under Phuentsholing's jurisdiction. As there was no response, the matter remained inactive.</li> <li>Thromde further noted that issues related to PTDP require separate discussions with DHI and encouraged participants to raise such concerns directly with the relevant agencies. Thromde is also committed to addressing these issues whenever such dialogues occur.</li> </ul>

5	<p><b>Highway truck traffic:</b></p> <ul style="list-style-type: none"> <li>• The public highlighted that the increasing number of trucks on the highway is affecting livelihoods and settlements due to noise and dust pollution, as well as contributing to the deterioration of road infrastructure.</li> </ul>	<ul style="list-style-type: none"> <li>• It was acknowledged that the concerns regarding trucks operating on the highway particularly in an area expected to have high-density development and a major commercial hub are shared by the Thromde, and ADB has also raised questions on this issue. While recognizing the seriousness of the matter, it was noted that it also relates to the country's economy, and since truck operations on the highway are authorized directly by the central agency, the Thromde is currently not in a position to halt these activities.</li> <li>• However, the Thromde assured that these concerns have been communicated to higher authorities and that efforts to address the issue will continue.</li> </ul>
6	<p><b>Compensation for existing structures:</b></p> <ul style="list-style-type: none"> <li>• A query was raised concerning compensation entitlements for existing structures that had been approved when the area was under Dungkhag administration. There was also a request to extend the timeline for relocating these Structures and to allow their temporary continued use for industrial purposes on state land provided by the Thromde for existing structures that had been approved when the area was under Dungkhag administration. There was also a request to extend the timeline for relocating these</li> </ul>	<ul style="list-style-type: none"> <li>• Thromde clarified that entitlements to compensation for existing structures affected by planning must follow the established rules and regulations. Since the structure in question was constructed for industrial use when the area was under Dungkhag administration, the plot owner was requested to provide any proof or documentation of approval to be considered for compensation.</li> <li>• Concerning the request for an extension of time to shift or remove structures located within the road corridor, the public was informed that notifications were issued by the Thromde one and a half years ago, providing sufficient time for relocation. State land within the vicinity cannot be allocated, as the entire Ammochhu LAP is planned as a high- density mixed-use.</li> </ul>

#	Concerns/Queries	Clarifications Provided
	land provided by the Thomde.	commercial zone, and industrial use is not compatible with this plan. Thomde also highlighted that it has been actively exploring available land in other LAPs where industrial activities are permitted, making the relocation of industries from Ammochhu LAP a priority, and will continue to seek suitable plots for industrial use elsewhere.
7	<p><b><i>Encroachment by private plot owner:</i></b></p> <ul style="list-style-type: none"> <li>• A representative from a private company raised a concern that an adjoining plot had encroached on their land, hindering their planned construction. The Thomde was asked whether this issue would be addressed by the Thomde or the Police.</li> </ul>	<ul style="list-style-type: none"> <li>• It was clarified that the Thomde addresses encroachment issues only on state land. This matter is also not related to land pooling, nevertheless, Thomde will review the matter and discuss possible ways to resolve the issue.</li> </ul>
8	<p><b><i>Hazardous area in the hillside:</i></b></p> <ul style="list-style-type: none"> <li>• Concerns on Phuentsholing being a fragile area and particularly the area towards the hillside was raised and requested Thomde not allow construction on the hillside.</li> </ul>	<ul style="list-style-type: none"> <li>• While Thomde acknowledged the concern, it was also emphasized that the perspectives of landowners on the hillside need to be considered, as they have aspirations to develop their land. It was further clarified that areas with very high hazard levels are designated as the E1 precinct, where construction is not permitted.</li> <li>• The public were informed on another ADB project underway (BARHKH) concerning the slope stabilization of the hillside area and are expected to provide recommendations on how to mitigate disasters.</li> </ul>

#	Concerns/Queries	Clarifications Provided
9	<p><b>Landscaping Plantation</b></p> <ul style="list-style-type: none"> <li>Thromde was asked about the provisions for landscaping and plantation works, emphasizing that these should be given due importance.</li> </ul>	<ul style="list-style-type: none"> <li>It was clarified that in the annual budgeting, Thromde always keeps a separate budget provision for 'landscaping &amp; beautification' along with the budget for upkeeping of infrastructures.</li> </ul>
10	<p><b>Facilitation for Construction after Infrastructure is already developed in the LAP</b></p> <ul style="list-style-type: none"> <li>Similar to the PTDP, where infrastructure was developed while leaving plots vacant for future construction, a similar situation is expected for Ammochhu LAP, as not all plot owners may build prior to the infrastructure development. Concerns were raised on how such developments would be facilitated, given that construction on individual plots after infrastructure development could potentially damage the infrastructure.</li> </ul>	<ul style="list-style-type: none"> <li>Thromde responded that simultaneous development on private plots while the infrastructure development is ongoing would be preferable. However, since such a scenario is not ideal, development in future after the development of infrastructure would come with restrictions that developers would have to comply with to maintain the quality infrastructures.</li> </ul>

**Images from the Public Consultation**



**Announcement in the National Newspaper (Kuensel) (left)  
Thromde Facebook page (Right)**

**ADVERTISEMENT**  
PAGE 6 Saturday, December 6, 2025 | KUENSEL

**PUBLIC NOTIFICATION**

**PHUENTSHOLING THROMDE**  
**Public Consultation Meeting for Inclusive & Resilient Urban Development Project (IRUDP), Ammochhu LAP**

The Phuentsholing Thromde is pleased to apprise the public that the Inclusive & Resilient Urban Development Project (Infrastructure Development Works in Ammochhu LAP) is presently under preparation, aided by the support of the Asian Development Bank (ADB), and is tentatively slated to commence in the forthcoming fiscal year (2026-2027). As a component of community engagement in this initiative, a public consultation will be convened to deliberate on the project's objectives and address any pertinent issues regarding its implementation.

Accordingly, the Phuentsholing Thromde respectfully requests all the plot owners within the Ammochhu LAP to graciously attend the meeting scheduled for **22<sup>nd</sup> December 2025, from 10 AM to 12 PM**, in the Multipurpose Hall (MPH) at **Phuentsholing Higher Secondary School**. Additionally, any other interested individuals and stakeholders from the Phuentsholing Thromde are warmly invited to participate in this meeting.

For further information and clarification, please contact **17245880/ 77695550/ 17823804**.

Phuentsholing Thromde  
December 5 at 10:10 AM · 🌐

"Public Consultation Announcement for Inclusive & Resilient Urban Development Project (IRUDP), Ammochhu LAP"

**PUBLIC ANNOUNCEMENT**  
**Public Consultation Meeting for Inclusive & Resilient Urban Development Project (IRUDP), Ammochhu LAP**

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Phuentsholing Thromde

**Announcement in WhatsApp group**

PT AmmochuLAP Land Owners  
Aum, Chhime, Chief, Govin, Lhendu, Rabten, Sangay, Zhung, +...

Karma Gelay Census left

12/5/2025

**Chief Sir Tshewang Jeipo**

**PUBLIC ANNOUNCEMENT**  
**Public Consultation Meeting for Inclusive & Resilient Urban Development Project (IRUDP), Ammochhu LAP**

The Phuentsholing Thromde is pleased to apprise the public that the Inclusive & Resilient Urban Development Project (Infrastructure Development Works in Ammochhu LAP) is presently under preparation, aided by the support of the Asian Development Bank (ADB), and is tentatively slated to commence in the forthcoming fiscal year (2026-2027). As a component of community engagement in this initiative, a public consultation will be convened to deliberate on the project's objectives and address any pertinent issues regarding its implementation.

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Phuentsholing Thromde 10:26 AM

~ Kinley Dorji +975 17624153  
Thank you la 10:46 AM

### Attendance Sheet of Public Consultation Meeting:

IRUDP, Ammochhu LAP: Phuentsholing Thromde

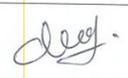
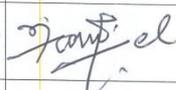
Community Consultation

Package Name:

Date: Dec 22, 2025

Place :

Sl No	Name of Participant	M - F	Address/Contact No	Occupation	Land owner/other(please specify)	Signature of Participant
1	Phuntso Wangpa	M	17110396	Business man	Land owner	
2	Kezang Norbu	M	17605583	Business man	land owner	
3	Phuntso Datsen	M	17698791	"	Representative	P. Datsen
4	Tandin Bidha	F	17110171	"	Land Owner	
5	Wangma Jigme	M	17110227	"	Representative	

Sl No	Name	M/F	Address/contact no	Occupation	Land owner/other (Specify)	Signature
6	At Lot Pharchin	M	Drukhang Alley Ltd. 17965350	GM	Company representative	
7	Tenzin Wangch	M	Thangtang brook street	cm	land owner	
8	Chani Pem	F	77236151	-	Stess/Komog Group	
9	Tandin Wangyel	M	17116111	Business	Land owner	
10	Nor Bdr Rai	M	17664381	Thimi	Thimi	
11	Kapma Chirong	M	17114539	BTL	BTL	

## IRUDP, Ammochhu LAP: Phuentsholing Thromde

Community Consultation

Package Name:

Date :

Place :

SI No	Name of Participant	M - F	Address/Contact No	Occupation	Land owner/other(please specify)	Signature of Participant
12	Lal Dorj Gheley	M	BTL	Sr. Technical officer	-	
13	Gopel Subba	m	BPC	Engineer	-	
14	Lakshenogal	M	BPL	Engineer	-	
15	Dawa Doma	F	77610534	Owner	-	
16	Sonam Dorjee	M	77115917	Owner	-	

17	Wangdi Wangdi	M	Private 17605771		Land owner	
18	Kunma Gelytser	M	17110075			
19	Rakten Wangdi	M	17110308			
20	Kinley Gyandho	M	17601580			
21	Jampel Rigser Construction Pvt. Ltd.	M	17673952			
22	Chemi Naya	F	17742801	Cipal servant Phuentsholing		

## IRUDP, Ammochhu LAP: Phuentsholing Thromde

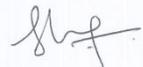
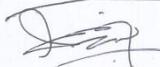
Community Consultation

Package Name:

Date :

Place :

SI No	Name of Participant	M - F	Address/Contact No	Occupation	Land owner/other(please specify)	Signature of Participant
23	Chencho	M	17979000	Phuentsholing Thromde	-	
24	Kinley Wangdi	M	77625550	"	-	
25	Rigyel	M	17990299	"	-	
26	Purni Maya Tenzin	F	17823804	"	-	
27	Sonam Tshen	M	77207558	"	Representative	

Sl. No	Name	M/F	Address/contact no.	Occupation	Land owner/ other (please specify)	Signature
28	Pema Lhadu	F	17601651	Business	Land owner	
29	Tshewang Zom	F	77103762	"	"	

#### Appendix 4: Grievance Registration Format (to be made available in Local language)

(To be available in XXXX and English)

The \_\_\_\_\_ Project welcomes complaints, suggestions, queries, and comments regarding project implementation. We encourage persons with grievance to provide their name and contact information to enable us to get in touch with you for clarification and feedback.

Should you choose to include your personal details but want that information to remain confidential, please inform us by writing/typing \*(CONFIDENTIAL)\* above your name. Thank you.

<b>Date</b>	<b>Place of registration</b>	<b>Project Town Project:</b>			
<b>Contact information/personal details</b>					
<b>Name</b>		<b>Gender</b>	* Male * Female	<b>Age</b>	
<b>Home address</b>					
<b>Place</b>					
<b>Phone no.</b>					
<b>E-mail</b>					
<b>Complaint/suggestion/comment/question</b> Please provide the details (who, what, where, and how) of your grievance below: If included as attachment/note/letter, please tick here:					
<b>How do you want us to reach you for feedback or update on your comment/grievance?</b>					

#### FOR OFFICIAL USE ONLY

<b>Registered by:</b> (Name of official registering grievance)	
<b>Mode of communication:</b> Note / Letter E-mail Verbal / Telephonic	
<b>Reviewed by:</b> (Names/positions of officials reviewing grievance)	
<b>Action taken:</b>	
<b>Whether action taken disclosed:</b>	No
<b>Means of disclosure:</b>	